

JP MORGAN CHASE, N.A.

DAVIS SQUARE

250 ELM STREET SOMERVILLE, MA CHASE OVP#J60031810826

ELEVATION UPDATES - 2022.05.16

PROJECT DIRECTORY

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PROJECT CONTACT CORE STATES INC. 9 GLEEN STREET, SUITE 117 WATERTOWN, MA 02472 PHONE: 908.462.9951 CONTACT: JENNIFER HOAK

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LOCATION MAP

BUILDING LOCATION

CORE STATES INC. 46 EAST MAIN STREET, SUITE 201 SOMERVILLE, NJ 08876

CORE STATES INC. 201 SOUTH MAPLE AVENUE, STE 300 AMBLER, PA 19002 PHONE: 215.809.2125 CONTACT: DAVID BALMA EMAIL: dbalma@core-states.com

STRUCTURAL ENGINEER

MECHANICAL ENGINEER CORE STATES INC. 46 EAST MAIN STREET, SUITE 201 SOMERVILLE, NJ 08876 CONTACT: STEVEN VAZ EMAIL: svaz@core-states.com

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PLUMBING ENGINEER CORE STATES INC. 46 EAST MAIN STREET, SUITE 201 SOMERVILLE, NJ 08876 PHONE: 908.462.9916 CONTACT: STEVEN VAZ

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CODE INFORMATION

JURISDICTION CITY OF SOMERVILLE INSPECTIONAL SERVICES DEPARTMENT BUILDING DEPARTMENT SOMERVILLE, MA 02145

APPLICABLE CODES BUILDING CODE: **EXISTING BUILDING:** MECHANICAL CODE: PLUMBING CODE: ELECTRICAL CODE: AMENDMENTS FIRE CODE:

617.625.6600

INTERNATIONAL BUILDING CODE 2015 EDITION W/ 780 CMR MA AMENDMENTS INTERNATIONAL EXISTING BUILDING CODE 2015 EDITION INTERNATIONAL MECHANICAL CODE 2015 EDITION W/ 527 CMR MA AMENDMENTS NATIONAL ELECTRICAL CODE 2017 EDITION, NFPA-70 W/ 527 CMR 1200

INTERNATIONAL FIRE CODE 2015 EDITION W/ REVISIONS TO 527 CMR 1.00: MA

COMPREHENSIVE FIRE SAFETY CODE GAS CODE: LIFE SAFETY CODE: ACCESSIBILITY CODE: ENERGY CONSERVATION CODE:

INTERNATIONAL FUEL GAS CODE 2015 EDITION W/ MA AMENDEMENTS INTERNATIONAL LIFE SAFETY CODE 2015 EDITION W/ MA AMENDMENTS 2010 ADA STANDARDS WITH 521 CMR MA AMENDMENTS INTERNATIONAL ENERGY CONSERVATION CODE 2018 EDITION W/ 780 CMR 13 & 51 MA AMENDMENTS

SCOPE OF WORK

RENOVATION OF AN EXISTING COMMERCIAL BANKING SPACE IN A ONE & ONE HALF STORY BUILDING TO A COMMERCIAL BANKING CENTER. THIS SCOPE INCLUDES ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL.

CLASSIFICATION OF WORK	TENANT FIT-OUT
SQUARE FOOTAGE	
"UNOCCUPIED" BASEMENT A 1,472	1,472 SF
"UNOCCUPIED" BASEMENT B 1,409	1,409 SF
GROUND FLOOR	2,987 GSF
UTILITY ROOM 202 - 591 SF	591 SF
OCCUPANCY CLASSIFICATION	BUSINESS GROUP B
OCCUPANCY LOAD	
GROUND FLOOR (FLOOR AREA / 100 SF) 2,987 / 100 = 30	= 30 OCCUPANTS
CONSTRUCTION TYPE	III-B
SPRINKLERED	NOT REQUIRED / NONE PROVIDED
FIRE ALARM	EXISTING / TO BE REWORKED

NEW RETAIL BANKING CENTER

SHEET INDEX

W/O REVISION O

ARCHITECTURAL

UL LISTING

FINISH PLAN - ROOF

EXTERIOR ELEVATIONS

WALL TYPES

BUILDING DETAILS DETAILS: WALL OPENINGS

DETAILS: CEILING DETAILS: CABINETRY

STRUCTURAL

MECHANICAL

MEDIA WALL - ENLARGED PLAN, ELEVATIONS, & DETAILS

PRIVATE CONSULATION SPACE: INTERIOR ELEVATIONS

LOUNGE: ENLARGED PLANS AND INTERIOR ELEVATIONS

CONFERENCE ROOM: INTERIOR ELEVATIONS

GENERAL STRUCTURAL NOTES

ROOF FRAMING PLAN

SECTION AND DETAILS

FIRST-FLOOR SUPPORT STRUCTURE

MECHANICAL LEGENDS & GENERAL NOTES

PLUMBING ABBREVIATION, LEGENDS & NOTES

PLUMBING SANITARYN& VENT PLAN

PLUMBING DOMESTIC WATER PLAN

LEGEND, ABBREVIATIONS AND NOTES BUILDING MANAGEMENT SYSTEM DETAILS

LIGHTING SCHEDULE AND ELECTRICAL DEVICES

BMS DEVICE WIRING DIAGRAMS

UNDERGROUND CONDUIT PLANS ENLARGED PLAN AND ELEVATIONS POWER DETAILS AND SCHEDULES

BASEMENT LIGHTING PLAN FIRST FLOOR LIGHTING PLAN SECOND FLOOR LIGHTING PLAN BASEMENT & FIRST POWER PLAN

SYSTEMS PLAN

FIRE ALARM DETAILS BASEMENT FIRE ALARM PLAN FIRST FLOOR FIRE ALARM PLAN SECOND FLOOR FIRE ALARM PLAN

MECHANICAL DEMOLITION PLAN

MECHANICAL FLOOR PLAN

MECHANICAL ROOF PLAN

MECHANICAL SCHEDULES

MECHANICAL DETAILS

PLUMBING ROOF PLAN

PLUMBING DETAILS

PLUMBING RISER DIAGRAMS

MECHANICAL DEMOLITION ROOF PLAN

COMMUNITY WALL AND BOOTH: ENLARGED PLANS, ELEVATIONS, AND DETAILS

RESTROOMS AND JANITOR: ENLARGED PLANS AND INTERIOR ELEVATIONS

MANUAL TRANSACTION: ENLARGED PLAN, INTERIOR ELEVATIONS, AND DETAILS

GENERAL NOTES, RESPONSIBILITY SCHEDULE, DRAWING CONVENTIONS, AND ABBREVIATIONS

EGRESS WIDTH:	
OCCUPANTS x (0.2 - OTHER EGRESS COMPONENTS W/O SPRINKLER SYSTEM)	
44 X 0.2 = 8.8" WIDTH REQUIRED	
EXITS AND EXIT ACCESS DOORWAYS	SEE LIFE SAFETY PLAN SHEET A1.1.0
EXITS	
DOOR WIDTH	
COMMON PATH OF TRAVEL	
EXIT ACCESS TRAVEL DISTANCE	1
DEAD END CORRIDORS	1

PLUMBING FIXTURES			
TOTAL OCCUPANCY LOAD	=	44 TOTAL OCCUPANTS	3
FIXTURES (PER 248 CMR 10.00)			
WATER CLOSETS - 1 PER 20 / 25		1/1	1/1
LAVATORIES - 1 PER 50		1/1	1/1
DRINKING FOUNTAIN (1 PER FLOOR)		1	1 HIGH / 1 LOW
SERVICE SINK (1 PER FLOOR)		1	1

OCCUPANCY LOAD GROUND FLOOR (FLOOR AREA / 100 SF) 2,987 / 100 = 30 = 30 OCCUPANTS CONSTRUCTION TYPE III-B SPRINKLERED NOT REQUIRED / NONE PROVIDED FIRE ALARM EXISTING / TO BE REWORKED	COCCITATION CENTER NAME OF THE COLUMN TO THE COCCITATION	DOGINEOU GINOUI B
GROUND FLOOR (FLOOR AREA / 100 SF) 2,987 / 100 = 30 = 30 OCCUPANTS CONSTRUCTION TYPE III-B SPRINKLERED NOT REQUIRED / NONE PROVIDED		
CONSTRUCTION TYPE III-B SPRINKLERED NOT REQUIRED / NONE PROVIDED	OCCUPANCY LOAD	
SPRINKLERED NOT REQUIRED / NONE PROVIDED	GROUND FLOOR (FLOOR AREA / 100 SF) 2,987 / 100 = 30	= 30 OCCUPANTS
SPRINKLERED NOT REQUIRED / NONE PROVIDED		
	CONSTRUCTION TYPE	III-B
FIRE ALARM EXISTING / TO BE REWORKED	SPRINKLERED	NOT REQUIRED / NONE PROVIDED
	FIRE ALARM	EXISTING / TO BE REWORKED

FIRE-RESISTANCE RATING REQUIREM	MENTS

PER 2015 IBC TABLE 601-CONSTRUCTION TYPE III-B	REQUIRED	PER 2015 IBC TABL	E 602 - FIRE SEPARAT	TION DISTANCE
REQUIRED PRIMARY STRUCTURAL FRAME	0 HR		FIRE SEPARATION DIST.	REQUIRED RATING
REQUIRED BEARING WALLS EXTERIOR / INTERIOR	2 HR / 0 HR		(X < 5')	1 HR
REQUIRED NONBEARING EXTERIOR WALLS	TABLE 602		(5' < X < 10')	1 HR
REQUIRED NONBEARING INTERIOR WALLS	0 HR		(10' < X < 30')	1 HR
REQUIRED FLOOR CONSTRUCTION	0 HR		(X > 30')	0 HR
REQUIRED ROOF CONSTRUCTION	0 HR			

FLAME SPREAD DATA

CERAMIC TILE: IBC REQUIRED MINIMUM PROVIDED	N/A N/A
SUSPENDED ACOUSTICAL C IBC REQUIRED MINIMUM PROVIDED	<u>EILINGS:</u> CLASS B CLASS A
RESILIENT FLOORING: IBC REQUIRED MINIMUM	CLASS II

PROVIDED

CARPET TILE: IBC REQUIRED MINIMUM PROVIDED	CLASS II CLASS II
PAINTS AND COATING: IBC REQUIRED MINIMUM PROVIDED	CLASS B CLASS A

SEPARATE SUBMITTALS

GC SHA	LL OBTAIN PERMITS LISTED BELOW PRIOR TO INSTALLATION PER LOCAL JURISDICTION REQUIREMENTS
1.	SIGNAGE PACKAGE
2.	SECURITY ALARM
3.	LOW VOLTAGE

PROJECT	SPECIFIC	ITEMS
SECUDITY ENHANCEMENTS:		

PROJECT SPECIFIC ITEMS	
SECURITY ENHANCEMENTS:	N/A
DATE OF DRC ISSUED:	11/09/2021
INCLUDES RETAIL DESIGN COMMUNICATION UP TO:	RDC-21-005 DATED 11/22/2021
REMOTE DRIVE-UP ATM:	N/A
TRASH ENCLOSURE:	N/A

MASSACHUSETTS ACCESSIBILITY DETAILS DEMOLITION FLOOR PLAN - BASEMENT DEMOLITION FLOOR PLAN - GROUND FLOOR DEMOLITION FLOOR PLAN - ROOF DEMOLITION EXTERIOR ELEVATIONS LIFE SAFETY AND ACCESSIBILITY PLAN - BASEMENT LIFE SAFETY AND ACCESSIBILITY PLAN - GROUND FLOOR LIFE SAFETY AND ACCESSIBILITY PLAN - ROOF CONSTRUCTION FLOOR PLAN - BASEMENT CONSTRUCTION FLOOR PLAN - GROUND FLOOR CONSTRUCTION FLOOR PLAN - ROOF FURNITURE AND EQUIPMENT PLAN - GROUND FLOOR REFLECTED CEILING PLAN - GROUND FLOOR REFLECTED CEILING PLAN - ROOF DOOR TYPES SCHEDULE, DOOR TYPES, WINDOW TYPES INTERIOR FINISH SCHEDULE, FLOOR TRANSITION TYPES AND FINISHES SCHEDULE, VENDOR CONTACTS FURNITURE SCHEDULE, AUDIO / VIDEO EQUIPMENT SCHEDULE OFFICE EQUIPMENT BY PROGRAMMATIC ELEMENT, OFFICE EQUIPMENT SCHEDULE, MISCELLANEOUS EQUIPMENT SCHEDULE APPLIANCE SCHEDULE, RESTROOM ACCESSORIES, ELECTRICAL DEVICES FINISHES INTERIOR THROUGH-WALL WALK-UP AFTER-HOURS DEPOSITORY INTERIOR DETAILS: DEMOUNTABLE PARTITIONS, CEILING TRANSITIONS MAIN BANKING FLOOR: INTERIOR ELEVATIONS AND MARKETING POSITIONING DETAILS TRANSACTION VESTIBULE: INTERIOR ELEVATIONS CASH / TRANSACTION EQUIP ROOM & LAO AREA: ENLARGED PLANS AND INTERIOR ELEVATIONS

DRAWING ISSUE



ARCHITECT OF RECORD



MASSACHUSETTS LICENSE NO. 32254 HESE DRAWINGS ARE NOT COMPLETE WITHOUT THE SEPARATE TYPE WRITTEN SPECIFICATIONS MANUAL WHICH ARE PART OF THE CONTRACT DOCUMENTS.

JAMES T. LALLI, AIA

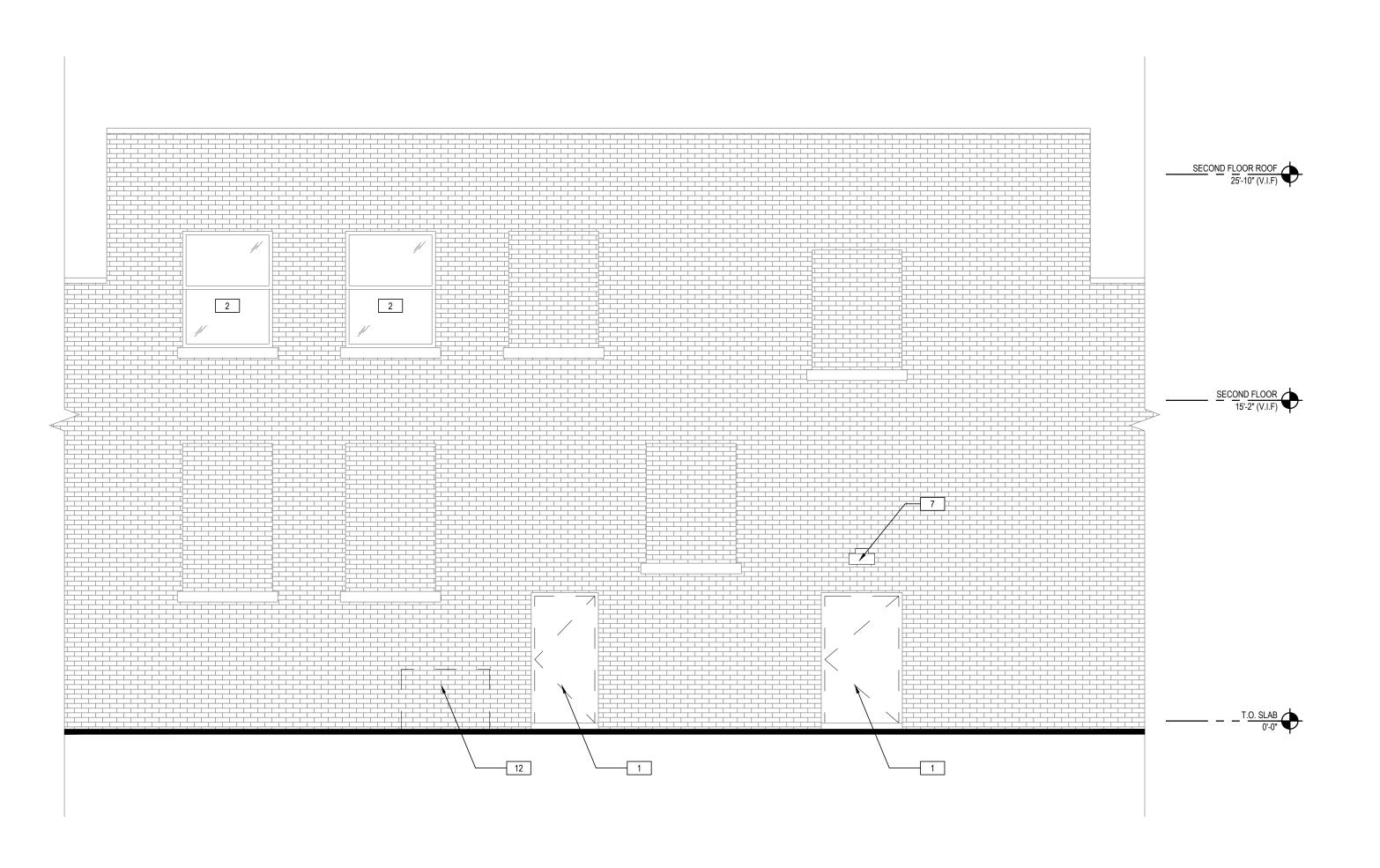
-	2022.02.17	PERMIT SET
-	2022.03.07	BID SET
1	2022.03.30	BID ADDENDUM 01
2	2022.05.13	AHJ COMMENTS
3	2022.05.16	ELEVATION UPDATES

ISSUE DATE DESCRIPTION

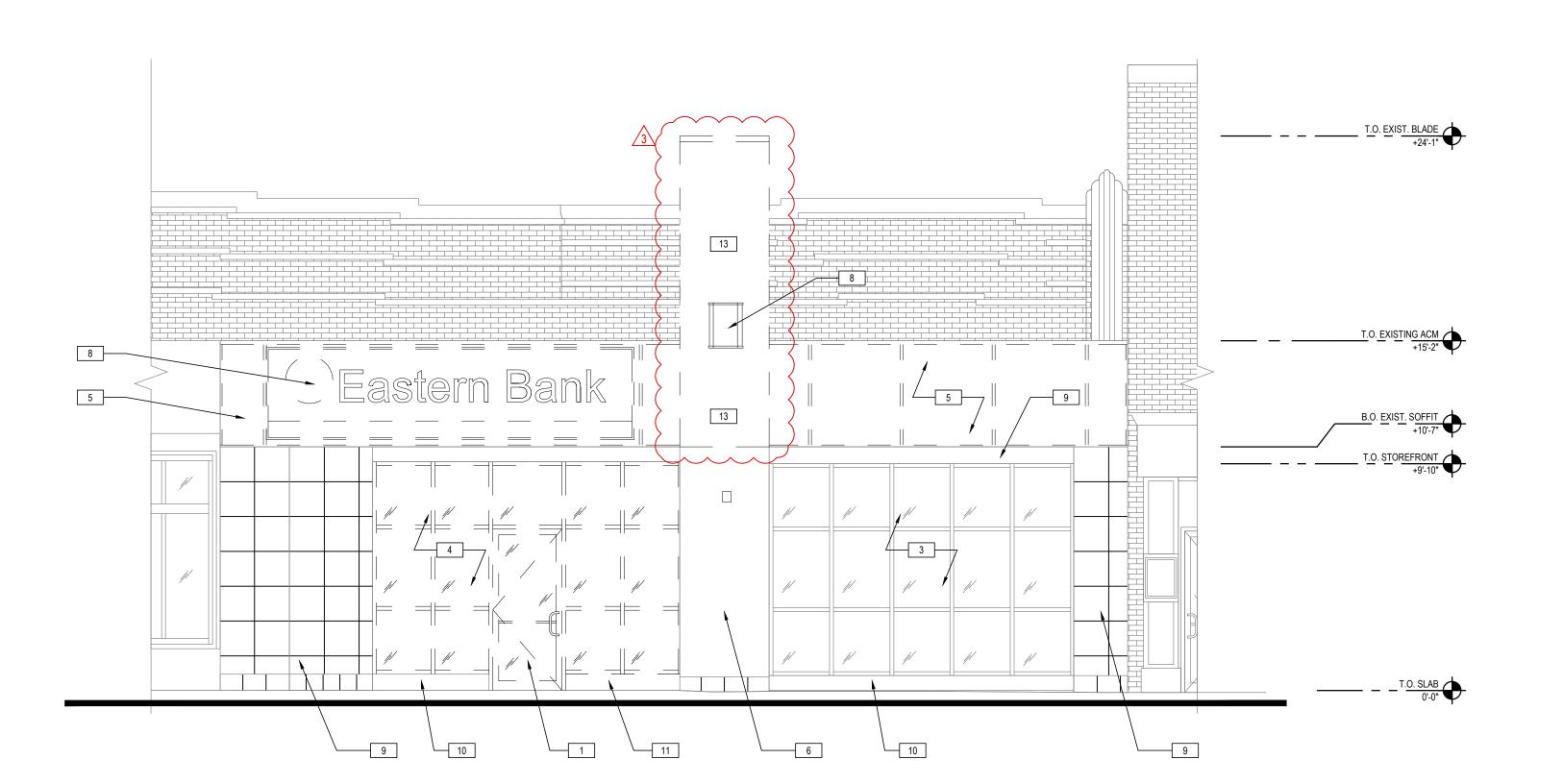
PROJECT INFORMATION	
PROJECT NO:	JPM.33730
DATE:	02/17/2022
PROTOTYPE:	20.4
DRAWN BY:	J.HOAK
CHECKED BY:	J.SANCHEZ
VERSION:	SE_1.00
SHEET TITLE	

COVER SHEET

SHEET NUMBER



DEMOLITION EXTERIOR ELEVATION 2 DEMO D2.1.0 1/4" = 1'-0"

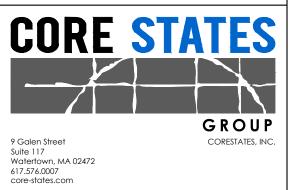


DEMO KEYNOTES REMOVE EXISTING DOORS, FRAMES, AND ASSOCIATED HARDWARE. EXISTING WINDOWS TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION. 3 EXISTING STOREFRONT TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION. 4 EXISTING STOREFRONT TO BE REMOVED. EXISTING ROUGH OPENING TO BE PREPARED FOR NEW STOREFRONT. REMOVE EXISTING METAL PANELS AND FRAMING DOWN TO MASONRY. PREPARE MASONRY FOR EIFS FINISH PER PROPOSED ELEVATIONS. 6 SCRAP, PATCH, AND REPAIR EXISTING STUCCO FINISH AND PREP FOR NEW STUCCO PER PROPOSED ELEVATIONS. EXISTING WALL MOUNTED LIGHT FIXTURES TO BE REMOVED. 8 EXISTING SIGNAGE TO BE REMOVED. PATCH AND REPAIR EXTERIOR FINISH AS REQUIRED. 9 PATCH AND REPAIR EXTERIOR FINISHES AS REQUIRED. PREPARE FOR NEW PAINTED FINISH. 10 REPLACE BRAKE METAL CURB AS NEEDED. 11 REMOVE STOREFRONT CURB DOWN TO SLAB TO PREPARE FOR PROPOSED DOOR. 12 EXISTING MECHANICAL EQUIPMENT TO BE REMOVED AND REPLACED. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION 13 REMOVE UPPER PORTION OF COLUMN ENCLOSURE AT FRONT ELEVATION. PATCH AND REPAIR BRICK FACADE WHERE ENCLOSURE WAS REMOVED.

DEMO LEGEND

EXIST CONSTRUCTION TO

— — — — EXIST CONSTRUCTION TO BE REMOVED



ARCHITECT OF RECORD



JAMES T. LALLI, AIA **MASSACHUSETTS** LICENSE NO. 32254 THESE DRAWINGS ARE NOT COMPLETE WITHOUT THE SEPARATE TYPE WRITTEN SPECIFICATIONS MANUAL WHICH ARE PART OF THE CONTRACT DOCUMENTS.

ISSUE DATE DESCRIPTION 2022.03.07 BID SET 1 2022.03.30 BID ADDENDUM 01 2 | 2022.05.13 | AHJ COMMENTS 3 2022.05.16 ELEVATION UPDATES

PROJECT INFORMATION PROJECT NO: 02/17/2022 **20.4** PROTOTYPE: J.HOAK J.SANCHEZ DRAWN BY: CHECKED BY:

> DEMOLITION **EXTERIOR ELEVATIONS**

SE_1.00

SHEET NUMBER

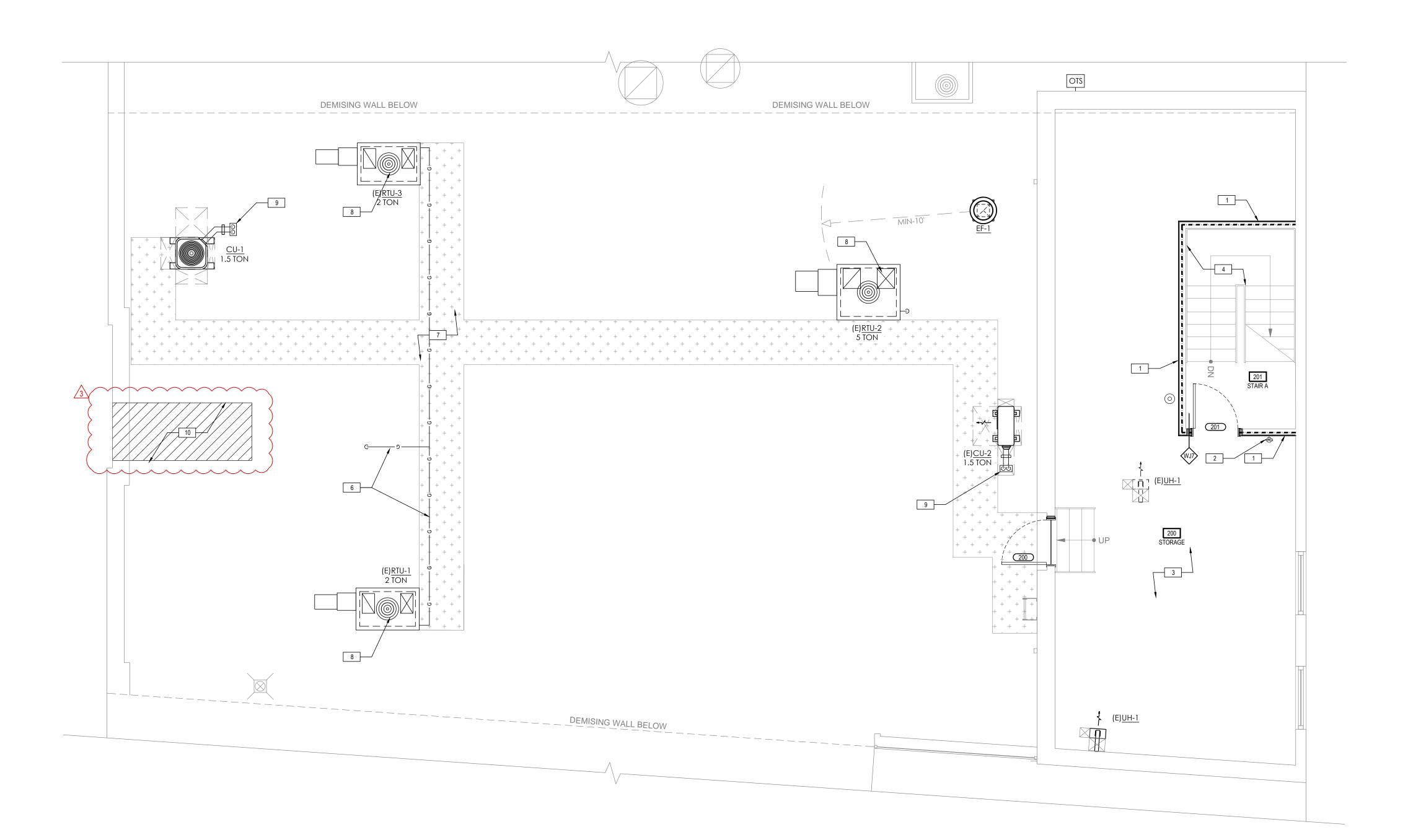
VERSION:

SHEET TITLE

D2.1.0

D2.1.0 1/4" = 1'-0"

DEMOLITION EXTERIOR ELEVATION



GENERAL FLOOR PLAN NOTES

- A ALL INTERIOR WALL PARTITIONS TO BE 'WJ' U.N.O. (SEE SHEET A3.1.0 FOR ADDITIONAL INFORMATION).
- B ALL DOOR FRAMES TO HAVE 4" RETURN ON HINGE SIDE
- C NOT ALL KEYNOTES MAY BE USED. REFER TO DRAWING.
- D ALL EXTERIOR SHEATHING SHALL BE DENSGLASS.

FLOOR PLAN KEYNOTES

1 ADD 5/8" GYP. TO EXISTING PARTITION AND PROVIDE 1-HR RATING AS REQUIRED.

- 2 WALL-MOUNT FIRE EXTINGUISHER: CARBON DIOXIDE ONLY / WATER OR DRY CHEMICAL TYPES NOT PERMITTED, CLASS C OR B-C, 5 LB. OR SMALLER, SET WALL BRACKET TO KEEP HANDLE <48" A.F.F.
- 3 INSTALL NEW 5/8" INTERIOR GYPSUM FINISH ON EXISTING FRAMING.
- 4 ANODIZED ALUMINUM HANDRAIL REFER TO 2/A1.1.3 FOR ADDITIONAL INFORMATION.
- 5 EXIT ALARM POWER SUPPLY: INSTALLED ABOVE FINISH CEILING OVER ALARMED EGRESS DOORS - REFER TO ELECTRICAL DRAWINGS.NOT
- 6 SURFACE-MOUNT MECHANICAL PIPING: REFER TO MECH.
- & PLUMBING DWG'S GAS AND REFRIGERANT PIPING SUPPORTED ON ROOFING BY B-LINE DURA-BLOK PRE-FAB. RUBBER-BASE GALVANIZED STEEL UNISTRUT PIPE SUPORTS AT 8'-0" o.c.
- ROOFING TRAFFIC PADS: SURFACE-ADHERED TEXTURED WALWAY MATERIAL PER ROOFING MANUFACTUER SPECIFICATIONS TO ALL MECHANICAL EQUIPMENT.
- MECHANICAL EQUIPMENT: VENTILATION UNIT, PACKAGED ROOFTOP HEATING AND COOLING UNIT OR SPLIT-SYSTEM A/C UNIT MOUNTED TO SHOP-FAB. VIBRATION-ISOLATING RAIL OR INSULATED CURB UNIT-LAP FLASH WATER-TIGHT TO ROOFING
- PIPE PENETRATION: REFER TO MECH. & PLUMBING DWG'S. PRE-FABRICATED WATER-TIGHT SURFACE-ADHERED ROOFING PORTAL COMPATIBLE WITH ROOFING MATERIAL. PENETRATIONS TO BE COORDINATED WITH LANDLORD'S ROOFING

MEMBRANE. REFER TO MECHANICAL DETAILS.

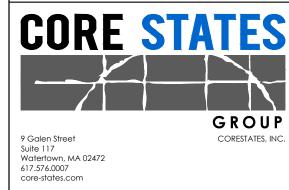
PATCH AND REPAIR ROOF WHERE EXISTING ENCLOSURE WAS REMOVED; REPAIR DAMAGED ROOF PARAPET CAPS

WALL LEGEND

EXISTING WALL CONSTRUCTION TO REMAIN EXISTING DEMISING PARTITION

NEW WALL CONSTRUCTION

NEW 1-HR RATED WALL



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2 | 2022.05.13 | AHJ COMMENTS 3 2022.05.16 ELEVATION UPDATES

PROJECT INFORMATION PROJECT NO: JPM.33730

02/17/2022 PROTOTYPE: J.HOAK DRAWN BY: J.SANCHEZ CHECKED BY: VERSION: SE_1.00 SHEET TITLE

> CONSTRUCTION FLOOR PLAN -ROOF

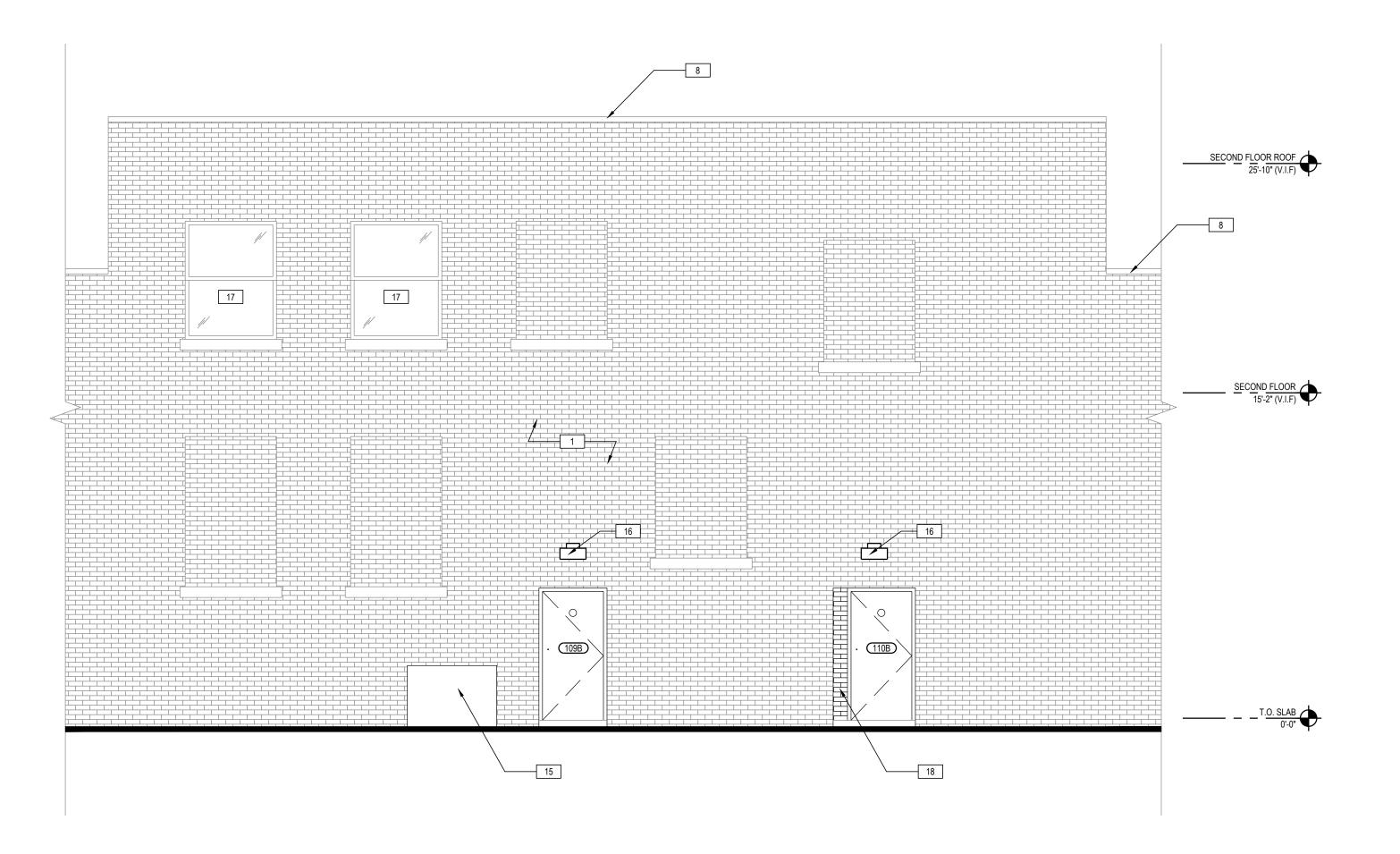
SHEET NUMBER

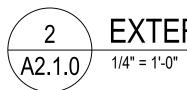
A1.1.5



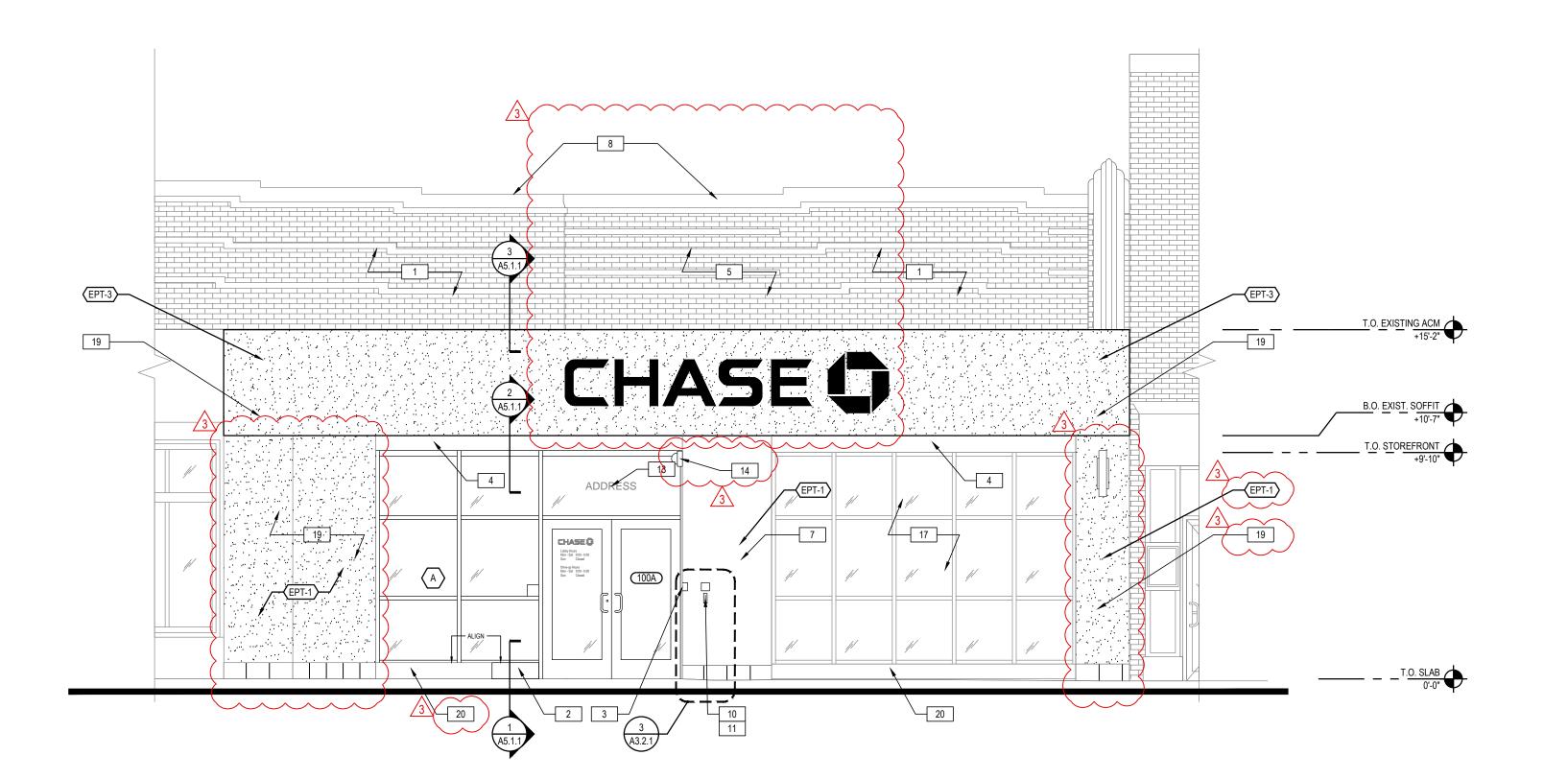
CONSTRUCTION FLOOR PLAN - GROUND FLOOR A1.1.5 1/4" = 1'-0"

		EXTERIOR FINISH MATERIALS
	EXTERIOR PAINT	
	MANUFACTURER	SHERWIN-WILLIAMS
EPT-1	PRODUCT	METALATEX ACRYLIC SEMI-GLOSS
	COLOR	SW 7064 PASSIVE
	FINSH	SEMI-GLOSS
EPT-2	EXTERIOR PAINT	
	MANUFACTURER	SHERWIN-WILLIAMS
	PRODUCT	METALATEX ACRYLIC SEMI-GLOSS
	COLOR	SW 7018 DOVETAIL
	FINSH	SEMI-GLOSS
EPT-3	EXTERIOR PAINT	
	MANUFACTURER	SHERWIN-WILLIAMS
	PRODUCT	METALATEX ACRYLIC SEMI-GLOSS
	COLOR	SW 7675 SEALSKIN
	FINSH	SEMI-GLOSS





EXTERIOR ELEVATION





- A G.C. TO VERIFY EXTERIOR COLOR & MATERIAL LOCATIONS AS SHOWN ON ELEVATION DRAWINGS WITH CHASE DESIGNER & APPROVED BRANDING PACKAGE PRIOR TO PURCHASE & INSTALLATION.
- B NOT ALL KEYNOTES MAY BE USED. REFER TO DRAWINGS.

ELEVATION NOTES

- 1 PATCH AND REPAIR EXISTING BRICK IN KIND.
- 2 NEW CURB . FINISH TO MATCH ADJACENT EXISTING.
- EMERGENCY ACCESS KEY BOX: WHERE REQUIRED BY LOCAL CODE ONLY-RECESS-MOUNT IN WALL CONSTRUCTION AS REQD. TO
- SET FACE FLUSH WITH ADJACENT WALL FINISH- VERIFY FINAL LOCATION WITH AUTHORITIES HAVING JURISDICTION
- 4 EXISTING SOFFITS TO REMAIN. PATCH AND REPAIR AS REQUIRED FINISH: EPT-1 5 | CLEAN, REPAIR, AND/OR REPLACE EXISTING BRICK ONCE
- EXISTING PIER HAS BEEN REMOVED. -6 LIGHTING TIMER SYSTEM PHOTO SENSOR: \\
- REFER TO ELECTRICAL DRAWINGS 7 PATCH AND REPAIR EXISTING EIFS ENCLOSURE. FINISH:
- 8 PATCH AND REPAIR COPING STONE AS REQUIRED. MATCH EXISTING AND ADJACENT.
- 9 | SECURITY CAMERA: PROVIDE CONCEALED JUNCTION BOX AND CONDUIT TO INTERIOR; REFER TO OWNER'S SECURITY CONSULTANT
- 10 AUTOMATIC DOOR OPERATOR BUTTON RECESSED FLUSH WITH WALL SURFACE- DO NOT SURFACE-MOUNT.
- 11 KEYCARD READER RECESSED FLUSH WITH WALL SURFACE- DO NOT SURFACE-MOUNT.

DRAWINGS.

- 12 SIGNAGE LOCATION: SIGNAGE BY OWNER'S SIGN VENDOR- N.I.C.- PROVIDE ROUGH ELEC. WORK AND BLOCKING IN WALL AS REQD.
- WITH SIGN VENDOR. 13 BUILDING ADDRESS NUMBER: WHITE VINYL NUMBERS WITH 1/2" WIDE STROKE APPLIED TO INTERIOR FACE OF GLASS TRANSOM- MIN. 6" HEIGHT

FOR VENDOR INSTALLATION. CONFIRM FINAL LOCATION

- OR AS REQD. BY LOCAL CODE 14 | FIRE ALARM SYSTEM BELL AND STROBE: WHERE REQUIRED BY LOCAL CODE ONLY- VERIFY FINAL
- LOCATION WITH LOCAL AUTHORITIES HAVING JURISDICTION
- 15 MECHANICAL EQUIPMENT: REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
- 16 SURFACE-MOUNT EMERGENCY LIGHT FIXTURE: TO BE PROVIDED ONLY WHEN DOOR BELOW IS A REQUIRED OR MARKED EXIT - REFER TO REFLECTED CEILING PLAN AND LIGHT FIXTURE SCHEDULE
- 17 EXISTING STOREFRONT / WINDOWS TO REMAIN AND BE
- PROTECTED THROUGHOUT CONSTRUCTION.
- 18 BRICK INFILL AS NEEDED AT NEW DOOR OPENING.
- 19 NEW EIES FINISH AND FRAMING AS REQUIRED. 20 NEW BRAKE METAL CURB COVER TO MATCH EXISTING STOREFRONT.



Watertown, MA 02472 617.576.0007 core-states.com

ARCHITECT OF RECORD



JAMES T. LALLI, AIA MASSACHUSETTS LICENSE NO. 32254

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3 2022.05.16 ELEVATION UPDATES

PROJECT INFORMATION PROJECT NO: JPM.33730 02/17/2022 PROTOTYPE: DRAWN BY: J.HOAK

J.SANCHEZ

EXTERIOR ELEVATIONS

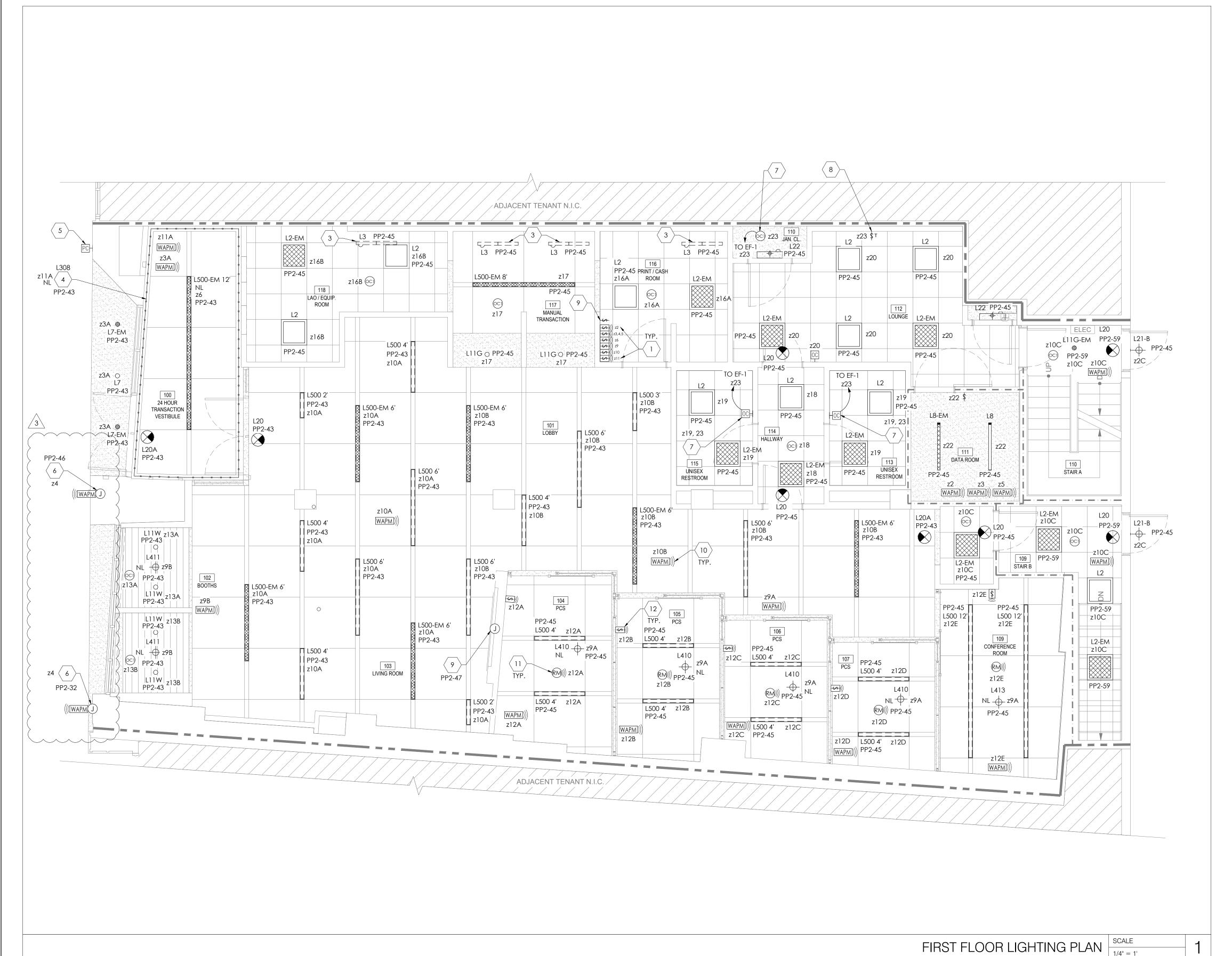
SHEET NUMBER

CHECKED BY: VERSION: SHEET TITLE

A2.1.0

A2.1.0 / 1/4" = 1'-0"

EXTERIOR ELEVATION



ELECTRICAL GENERAL NOTES:

- REFER TO LIGHTING SCHEDULES AND ELECTRICAL DETAILS SHEET FOR LIGHTING FIXTURE SCHEDULE AND ADDITIONAL INFORMATION.
- REFER TO BUILDING MANAGEMENT SYSTEM LIGHTING ZONE CONTROL SCHEDULE ON BUILDING MANAGEMENT SYSTEM DETAILS SHEET FOR ALL WIRING CONNECTIONS AND REQUIREMENTS.
- ALL LIGHTS LABELED "NL" ARE NIGHT LIGHTS THAT ARE TO BE CONNECTED UNSWITCHED.
- ALL EXIT LIGHTS "L20" SHALL BE CONNECTED TO THE CIRCUIT INDICATED ON THE LINE SIDE OF THE LOCAL LIGHTING SWITCH.
- ALL EMERGENCY BATTERY FIXTURES (HATCHED FIXTURES) SHALL BE CONTROLLED BY THE LOCAL LIGHTING SWITCH AS INDICATED. EXTEND BATTERY WIRING TO THE LINE SIDE OF THE LOCAL LIGHTING SWITCH AND CONNECT FOR PROPER EMERGENCY BALLAST OPERATION.
- ALL PENDANT FIXTURES IN THE PUBLIC LOBBY AREA ARE TO BE CONNECTED TO A CONSTANT-ON CIRCUIT. EXACT LOCATIONS OF PENDANT FIXTURES ARE TO BE COORDINATED WITH THE ARCHITECTURAL FURNITURE LAYOUT.
- SECURELY FASTEN EACH RECESSED GRID LIGHT FIXTURE TO THE CEILING SYSTEM WITH
 APPROPRIATE SUPPORT BRACKETS AND CLIPS PER INDUSTRY STANDARDS, CODE AND ALL LOCAL
 CODES.
- A MAXIMUM OF 3 HOMERUNS MAY BE GROUPED TOGETHER IN ONE CONDUIT AND SHARE A COMMON NEUTRAL PROVIDED THE HOMERUNS ARE DIFFERENT PHASES. IF BRANCH CIRCUITS ARE GROUPED THEY MUST ALL BE CONTROLLED BY THE SAME MULTI-POLE BREAKER PER NEC.210.4.

ELECTRICAL KEY NOTES:

SWITCHBANK FOR BI-LEVEL CONTROL OF LOBBY LIGHTING WITH MANUAL DIMMERS. 4-GANG BOX NOT REQUIRED. COORDINATE FINAL LOCATION WITH OWNER PRIOR TO INSTALLATION. NUMBERS NEXT TO SWITCHES INDICATE THE LIGHTING ZONE BEING CONTROLLED. REFER TO BMS LIGHTING ZONE CONTROL SCHEDULE ON THE BUILDING MANAGEMENT SYSTEM DETAIL SHEET FOR ADDITIONAL INFORMATION.

- 2. NOT USED.
- 3. UNDERCABINET LIGHT FIXTURES. VERIFY EXACT QUANTITY OF FIXTURES REQUIRED PRIOR TO INSTALLATION. LIGHTING FIXTURE "L3" IS PROVIDED WITH AN INTEGRAL OCCUPANCY SENSOR. DO NOT CONNECT TO WALL MOUNTED OCCUPANCY SENSOR OR SWITCHES. ROUTE LOW VOLTAGE LIGHT FIXTURE CIRCUITRY THROUGH WALL TO FIXTURE DEVICES. REFER TO ARCHITECTURAL ELEVATIONS FOR ADDITIONAL INFORMATION.
- 4. PROVIDE LED COVE ACCENT LIGHTING, TYPE L308 (BLUE), AS SHOWN. LIGHTING TO BE INSTALLED IN VESTIBULE CEILING COVE. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS. CIRCUIT AS NIGHT LIGHTS
- 5. PROVIDE OUTDOOR PHOTOCELL, MOUNTED ON EXTERIOR WALL, EXACT LOCATION AND MOUNTING HEIGHT TO BE VERIFIED WITH ARCHITECT PRIOR TO ROUGH-IN. MOUNT AWAY FROM LIGHT SOURCES.
- 6. JUNCTION BOX ON THE INSIDE OF EXTERIOR WALL FOR BUILDING SIGN, REFER TO ARCHITECTURAL ELEVATIONS FOR SIGN LOCATIONS, FIELD COORDINATE ROUGH-IN REQUIREMENTS WITH SIGNS TO BE INSTALLED AND ADJUST ACCORDINGLY. PROVIDE DISCONNECTING MEANS AS REQUIRED.
- 7. INTERLOCK RESTROOMS AND JANITOR CLOSET LIGHTING AND EXHAUST FAN WITH WALL MOUNTED OCCUPANCY SENSOR. LIGHTING AND EXHAUST FAN TO BE POWERED SEPARATELY. REFER TO POWER PLAN, ROOF POWER PLAN AND MECHANICAL SCHEDULES FOR ADDITIONAL INFORMATION.
- 8. EXHAUST FAN TO BE INTERLOCKED WITH 3-WAY PRESET PUSH BUTTON TIMER SWITCH. REFER TO EXHAUST FAN CONTROL DIAGRAM, POWER PLAN AND MECHANICAL SCHEDULES FOR ADDITIONAL INFORMATION.
- 9. PROVIDE JUNCTION BOX ABOVE CEILING WITH MULTIPLE FLEXIBLE CONDUIT TERMINATIONS IN WALL BELOW FOR SIGNAGE ELECTRICAL CONNECTION. COORDINATE EXACT LOCATION AND TERMINATION LOCATIONS WITH CHASE SIGNAGE VENDOR SHOP DRAWINGS AND ADDITIONAL REQUIREMENTS. FIELD COORDINATE ROUGH-IN REQUIREMENTS WITH SIGN TO BE INSTALLED AND ADJUST ACCORDINGLY. CONNECT SIGN TO SPDT WALL SWITCH LOCATED AT MANUAL TRANSACTION AREA FOR MANUAL CONTROL OF SIGNAGE.
- 10. PROVIDE DIMMING ROOM WIRELESS ADAPTER, DAINTREE #WA100-PM SERIES, REFER TO BUILDING MANAGEMENT SYSTEM DETAILS SHEET FOR ADDITIONAL INFORMATION. ADAPTER CONTROLS UP TO 10 LUMINAIRES.
- 11. PROVIDE BATTERY POWERED CEILING RECESSED OCCUPANCY SENSOR, DAINTREE #WOS2-RM-E SERIES, REFER TO BUILDING MANAGEMENT SYSTEM DETAILS SHEET FOR ADDITIONAL INFORMATION.
- 12. PROVIDE WIRELESS WALL DIMMER, DAINTREE #WWD1 SERIES, REFER TO DETAILS ON THE BUILDING MANAGEMENT SYSTEM DETAIL SHEET FOR ADDITIONAL INFORMATION.

LIGHTING NOTES:

- LIGHTING SHALL BE ORDERED THROUGH:
- FSG -JPMCRetail Team Isaiah Ramden Tel: (888) 671-4074 E-mail: jpmcretail@fsgi.com Website: www.fsgi.com
- ELECTRICAL CONTRACTOR TO PURCHASE WHOLE DAINTREE SYSTEM WITH INPUT FROM MECHANICAL CONTRACTOR. COORDINATE AS REQUIRED BETWEEN THE TRADES. ELECTRICAL CONTRACTOR TO CONFIRM ALL ORDER REQUIREMENTS WITH MECHANICAL CONTRACTOR. ELECTRICAL CONTRACTOR TO COORDINATE WITH DAINTREE FOR PROGRAMMING OF SYSTEM AND DEVICES. IF THERE ARE SPECIFIC QUESTIONS REGARDING THE DAINTREE CONTROL SYSTEM AND ADDITIONAL INFORMATION, PLEASE CONTACT:

Current, powered by GE
Bob Flannery
Tel: 312-550-6554
E-mail: robert.flannery@gecurrent.com

Travis Lynch
Tel: 216-212-7558
E-mail: Travis.Lynch@gecurrent.com

FOR GENERAL SUPPORT: E-mail: JPMCcontrols@gecurrent.com ONTROL SCHEDULE ON BUILDING

SAN CHASE, NAVIS SQUARE



46 East Main Street Suite 201 Somerville, NJ 08876 908.462.9700

NGINEER OF RECORD



THESE DRAWINGS ARE NOT COMPLETE WITHOUT THE SEPARATE TYPE WRITTEN SPECIFICATIONS MANUAL WHICH ARE PART OF THE CONTRACT DOCUMENTS.

> JOHN FERGUSON, P.E. MASSACHUSETTS LICENSE No. 48052

ISSUE	DATE	DESCRIPTION
-	2022.02.17	PERMIT SET
-	2022.03.07	BID SET
1	2022.03.30	BID ADDENDUM 01
2	2022.05.13	AHJ COMMENTS
3	2022.05.16	ELEVATION UPDATES

PROJECT INFO	ORMATION
PROJECT NO:	JPM.33730
DATE:	02/17/2022
PROTOTYPE:	20.4
DRAWN BY:	D. BORELLI
CHECKED BY:	C. SACCO

FIRST FLOOR LIGHTING PLAN

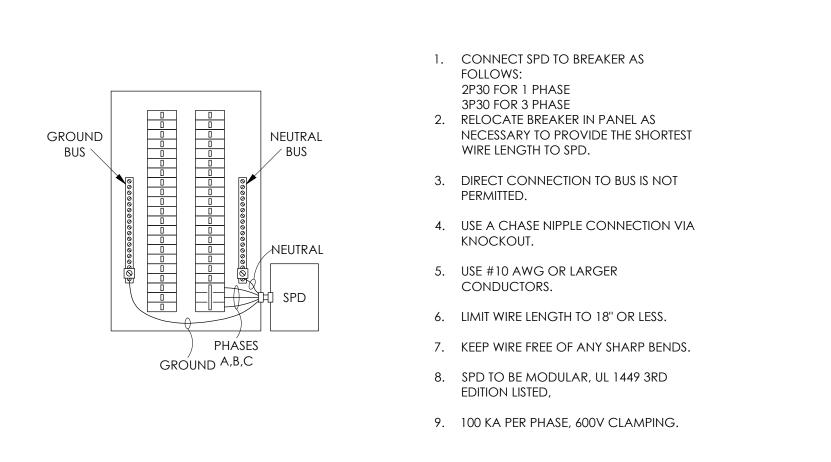
SE 1.00

SHEET NUMBER

VERSION:

SHEET TITLE

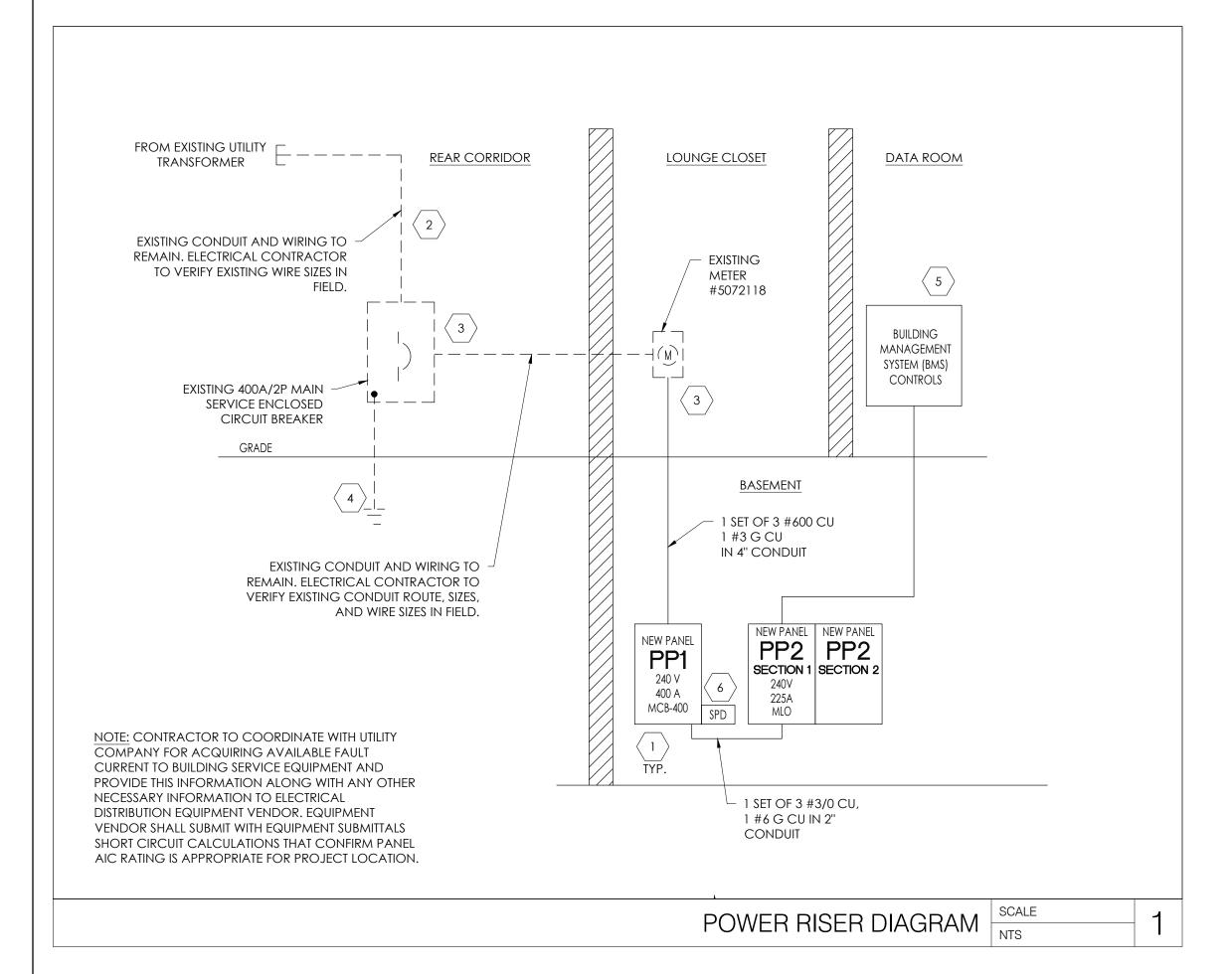
E1.1



SPD PANELBOARD SCHEMATIC | SCALE | NTS

SERVICE GROUNDING SCALE NTS

|--|



			PAN	ELE	BOA	RE):	PP1	1)	NEW)			
BUS AMPS: 400A FAULT CURRENT: REFER TO POWER RISER DIAGRAM												EQUIPMENT GROUND	BUS
MAIN SIZE/TYPE: 400A MCB													
VOLTS/PHASE: 240/120V, 1PH, 3W													
	VES: CHASE BANK												
	ATION: BASEMENT				MOUN	JTIN	JG:	SLIDE	ACE				
	DESCRIPTION	VOLTAR	IPS/PHASE	MADE				- 1-11		VOLTAMPS/PHAS	· -	DESCRIPTION	CK
CKT NO.	DESCRIPTION	A	B B	NO.	AMP	۲		AMP	NO.	A B	<u> </u>	DESCRIPTION	NO
1	(E) RTU-1	2,220	,	10	30	2	2	30	10	2,760		FCU-1	2
3		V	2,220							2,760			4
5	(E) RTU-2	4,508	•	6	60	2	2	20	12	1,265		CU-1	6
7		•	4,508							1,665			8
1977	(E) RTU-3	2,254	•	10	30	2	2	15	12	1,380		(E) CU-2 & (E) FCU-2	0000
11			2,254			121	_			1,380		DATA BASIC III	12
	EF-1	100	,	12	15	_	2	30	10	360		DATA RACK#1 TWISTLOCK	
	EF-2	,	200	12	15	1	_		4.0	360		DATA DAOK KATMATI OOK	16
-	ROOFTOP RECEPS (E) UH-1	540	500	12 10	20	2	2	30	10	360		DATA RACK #1 TWISTLOCK	
	(E) UH-1 	500	300	10	30	2	2	1 5	12	360		DAINTREE POWERSCOUT METER	20 22
21 23	EWH	300	1,500	12	20	2	2	15	12	1,380		DAINTREE FOWERSCOOT WETER	24
25 25		1,500	1,300	12	20	-	1	20	12	300		DUCT SMOKE DETECTORS	26
	SPACE	1,000				1	1	15	12	300		CONDENSATE PUMPS	
	SPACE		,			1	1	20	1.2	,		SPARE	
31	SPACE	•				1	1	20		· · · · · · · · · · · · · · · · · · ·		SPARE	32
33	SPACE		\$			1	1	20		`		SPARE	34
35	SPACE	•				1	1	20		500000000000000000000000000000000000000		SPARE	36
	SPACE		`			1	1			1		SPACE	38
39	PANEL PP2	4	16,422	3/0	200	2	2	30	10	,		SPD	40
41		15,618	}							•			42
	SUBTOTAL	27,240	27,604							7,805 8,205		SUBTOTAL	
	TOTAL PHASE A - VA 35,045	LOAD	CONN. V	/ A	DF		LOA	AD.		CONN. VA			
AMPS 292 COOLING TOTAL PHASE B - VA 35,809 AMPS 298 LIGHTING			29,174		1.00				ERATI		1.00 1.25		
			5,520					DISPLAYC					
			3,440					CHEN			1.00	_	
	TOTAL PNLBD - VA 70,854	RECEPTACLES	24,980		1.0/.5			STING			1.00 1.25	TOTAL DEMAND	Ī
	AMPS 295	MOTORS SUPP HEAT	1,700		1.00						1.25	TOTAL DEMAND 65,124 VA	
		1,000 6,960		1.00						1.00	271 A		
	EXISTING LOAD RELOCATED TO	MISC EQUIP	,				LIC	אאוכ	NON.	***************************************	1.00	2/17/	

PANELBOARD: PP2 (NEW)														
11 000 00 000 000 000 000 000 000 000 0												EQUIPMENT GROUND	BUS	
MAIN	N SIZE/TYPE: MLO													
VOLTS/PHASE: 240/120V, 1PH, 3W SERVES: CHASE BANK														
,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,														
CKT DESCRIPTION VOLTAMPS/PHASE WRE BKR P P BKR WRE VOLTAMPS/PHASE										Ξ	DESCRIPTION	CK		
									В			NC		
1	MOTORIZED SHADES		200		12	20	1	1 20	12	360	•		BOOTH RECEPS	S 2
3	JAN CLOSET RECEPS			360	12	20	1	1 20	12	•	540		PCS 104 RECEPS	3 4
5	WATER COOLER/DRINKING FOU	NTAIN	720	*	12	20	1	1 20	12	540	•		PCS 105 RECEPS	S 6
7	RESTROOMRECEPS		,	720	12	20	1	1 20	12	,	540		PCS 106 RECEPS	_
9	PRINT/CASH RM RECEPS		540	,	12	20	1	1 20	12	540	,		PCS 107 RECEPS	
11	LAO/ATM RM RECEPS		3.	720	12	20	1	1 20	12	3	540	CONF	FERENCE ROOM 109 RECEPS	
13				,		20	1	1 20	12	720	,		TELLER LINE RECEPS	
15			•	1,000	12	20	1	1 20	12	•	720		TELLER LINE RECEPS	_
	WTR MACH. & COFFEE MAKER		1,440	,	12	20	-	1 20	12	720	•		ACCESS TELLER	
	REFRIGERATOR		F 10	700	12	20	_	1 20	12		180		CASH RECYCLER	-
	LOUNGE CONVENIENCE RECEP	S	540	, E40	12	20	-	1 20	12	1,200	,		MOTORIZED SCRIN	
23			360	540	12	20	-	1 20	12	000	600		LOBBY ATM#1 FUTURE LOBBY ATM#2	_
25	LIVING ROOM MONITOR COMMUNITY WALL MONITOR		300	360	12	20	_	1 20	12	600	600		24-HOUR ATM	
27			900	300	12	20	-	1 20	12	600	600			
29	MAGOR MUSIC PLAYER		900	360	12	20	_	1 20	12	600	1 200		24-HOUR-AHD EXT BLADE SIGNAGE	·
-			360	300	12	20	_	1 20	12	360	1,200		DATARM TELEPHONE RECEP	
33	DATA ROOM RECEPS		300	720	12	20	-		12	360	360		DATARM. TELEPHONE RECEP	1,000,000
37			360	, ,	12	20	_	1 20	12	360	300		DATA RM. SECURITY RECEP	
39			,	720	12	20	-	1 20	12	300	360		DATA RM. SECURITY RECEP	
41	DATA RACK #2 TWISTLOCK		720	120	12	20	- 01	1 20	12	360	,		DATA RM. SECURITY RECEP	- 10-
	STION: 2		720		12	20	1	1 20	12	300			BAIANW. SECONITI NESEI	42
	LOBBY/VESTIBULE LTG		608		12	20	1	1 20	12	360	•		SECURITY MONITOR RECEPS	S 44
45				1,297	12	20	-	1 20	12		1,200		BUILDING SIGNAGE	
47	0.074.0.014.015		1,200	•	12	20	-	1 20	12	540	1,200		TOWEL DISPENSERS	
49			,	200	12	20	-	1 20	12	1	360	SECOND FL	OOR CONVENIENCE RECEPS	-
	AUTO DOOR OPERATORS		200		12		1	51 A 5100			•		SPARE	
	FACP		,	200	12	20	_	1 20		•			SPARE	
	BASEMENT LTG		600	•	12	20	1	1 20			•		SPARE	
	BASEMENT EMERGENCEY LTG			21	12	20	1	1 20		•			SPARE	
59	STAIRCASE/SECOND FLOOR LIG	HTING	414	•	12	20	1	1 20			•		SPARE	60
61	BASEMENT LTG			500	12	20	1	1 20		,	300000000000000000000000000000000000000		SPARE	62
63	SPARE			•		20	1	1 20			•		SPARE	64
65	SPARE		*			20	1	1 20		•			SPARE	66
67	SPARE			,		20	1	1 20					SPARE	68
	SPARE		•			20	1	1 20		•			SPARE	
	SPARE			•		20	1	1 20			•		SPARE	
100	SPARE		4			20	1	1 20		•			SPARE	E 1 10
	SPARE			,		20	1	1 20			•		SPARE	
	SPARE					20	_	1 20		``			SPARE	
	SPARE			•		20	_	1 20			*		SPARE	
	SPARE		,			20	_	1 20		*			SPARE	
83	SPARE			•		20	1	1 20					SPARE	= 84
	SUBTOTAL		9,162	8,418						7,260	7,200		SUBTOTAL	
	TOTAL PHASE A - VA 16,422 LOAD AMPS 137 COOLINI TOTAL PHASE B - VA 15,618 HEATING AMPS 130 LIGHTIN			CONN. V	/A	DF	L	OAD			ONN. VA	DF		
						1.00	F	REFRIGI	ERATI	ON		1.00		
			}			0		DISPLAY	CASE	=	3,600	1.25		
						1.25	K	KITCHE	V			1.00		
	TOTAL PNLBD - VA 32,040			23,000		1.0/.5	E	EXISTIN	G			1.00		_
	AMPS 134	MOTORS		1,400		1.00	L	ARGE N	NOTOF	3		1.25	TOTAL DEMAND	
SUPP HE						1.00		SHOWV		W		1.25	27,300 VA	_
MISC EQU				600		1.00		TG TRA	01/			1.00	114 <i>A</i>	Λ

"GFCI" - PROVIDE A GFCI CIRCUIT BREAKER

ELECTRICAL GENERAL NOTES:

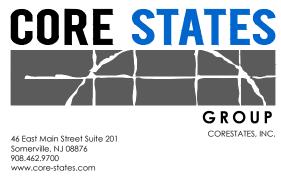
• 130.5(c) VOLTAGE DROP: THE MAXIMUM COMBINED VOLTAGE DROP ON BOTH INSTALLED FEEDER CONDUCTORS AND BRANCH CIRCUIT CONDUCTORS TO THE FARTHEST CONNECTED LOAD OR OUTLET SHALL NOT EXCEED 5 PERCENT.

ELECTRICAL KEYNOTES:

- 1. AS PER NEC 408.4, PROVIDE REQUIRED FIELD IDENTIFICATION. ALL SWITCHBOARDS, SWITCHGEAR, AND PANELBOARDS SHALL BE PERMANENTLY MARKED TO INDICATE EACH DEVICE OR EQUIPMENT WHERE THE POWER ORIGINATES. THE LABEL SHALL BE PERMANENTLY AFFIXED, OF SUFFICIENT DURABILITY TO WITHSTAND THE ENVIRONMENT INVOLVED, AND NOT HANDWRITTEN.
- 2. ELECTRICAL CONTRACTOR TO VERIFY EXISTING VOLTAGE AND AMPERAGE OF ELECTRICAL SERVICE FEEDING OVERALL BUILDING SPACE. EXISTING BUILDING IS FED WITH A 400A, 240V, 1-PHASE, 3-WIRE SERVICE. ELECTRICAL CONTRACTOR TO CONFIRM INFORMATION WITH LANDLORD AND UTILITY COMPANY AS REQUIRED.
- THE BASIS OF DESIGN FOR THE PROPOSED CHASE SPACE IS AS FOLLOWS: ELECTRICAL CONTRACTOR TO REUSE EXISTING 400A, 240/120V, 1-PHASE, 3-WIRE SERVICE AND 400A/2P MAIN SERVICE CIRCUIT BREAKER FEEDING EXISTING SPACE. EXISTING ELECTRICAL METER #5072118 TO REMAIN. DEMOLISH ALL PANELBOARDS, CONDUIT, AND WIRING AFTER THE ELECTRICAL METER NO LONGER IN USE. PROVIDE NEW CONDUIT AND WIRING FROM EXISTING ELECTRICAL METER TO NEW PANEL PP1. VERIFY ALL ROUTING LOCATIONS AND REQUIREMENTS AS WELL AS FINAL LOCATIONS WITH OWNER/LANDLORD PRIOR TO INSTALLATION.
- 4. SEE SERVICE GROUNDING DETAIL ON THIS SHEET. E.C. TO VERIFY EXISTING G.E.C. MEETS ALL LOCAL REQUIREMENTS AND N.E.C. ARTICLE 250.
- REFER TO DAINTREE CONTROL RISER DIAGRAM ON BUILDING MANAGEMENT SYSTEM DETAILS FOR ADDITIONAL INFORMATION REGARDING THE DAINTREE WIRELESS CONTROL SYSTEM.
- SEE SPD PANELBOARD SCHEMATIC DETAIL ON THIS SHEET.

TENANT ELECTRICAL SE	RVICE	LOAD SU	MARY			
TENANT OCCUPANCY TY	PE:	В	SERVIC	E DESCRI	PTION:	
TENANT SQUARE FOOTA	TENANT SQUARE FOOTAGE: 7,179					
LOAD DESCRIPTION			Connected	Demand	Demand	
			KVA	FACTOR	KVA	
HVAC - SUMMER			29.17	100%	29.17	
HVAC - WINTER			5.52	100%	0.00	
LIGHTING (PER NEC-220)			3.24	125%	4.05	
RECEPTACLES			24.98	100%;50%	17.49	
MOTOR LOADS			1.70	100%	1.70	
LARGEST MOTOR LOAD			0.00	125%	0.00	
MISCELLANEOUS EQUIP	MENT		6.96	100%	6.96	
DISPLAY CASE/SIGNAGE	.		3.60	125%	4.50	
EXTERIOR LIGHTING			0.20	125%	0.25	
TOTAL LOAD			76.37	KVA	65.12	
TOTAL AMPACITY			318.23	AMPS	271.35	
SERVICE AMPACITY			400	AMPS	400.00	
SPARE CAPACITY				AMPS	129	





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JOHN FERGUSON, P.E. MASSACHUSETTS LICENSE No. 48052

ISSUE	DATE	DESCRIPTION
-	2022.02.17	PERMIT SET
-	2022.03.07	BID SET
1	2022.03.30	BID ADDENDUM 01
2	2022.05.13	AHJ COMMENTS
3	2022.05.16	ELEVATION UPDATES

ROJECT INFORMATION	
PROJECT NO:	JPM.3373
DATE:	02/17/202
PROTOTYPE:	20.
DRAWN BY:	D. BOREL
CHECKED BY:	C. SACC
VEDCIONI:	SE 1.0

POWER DETAILS AND SCHEDULES

SHEET NUMBER

SHEET TITLE

E6.0