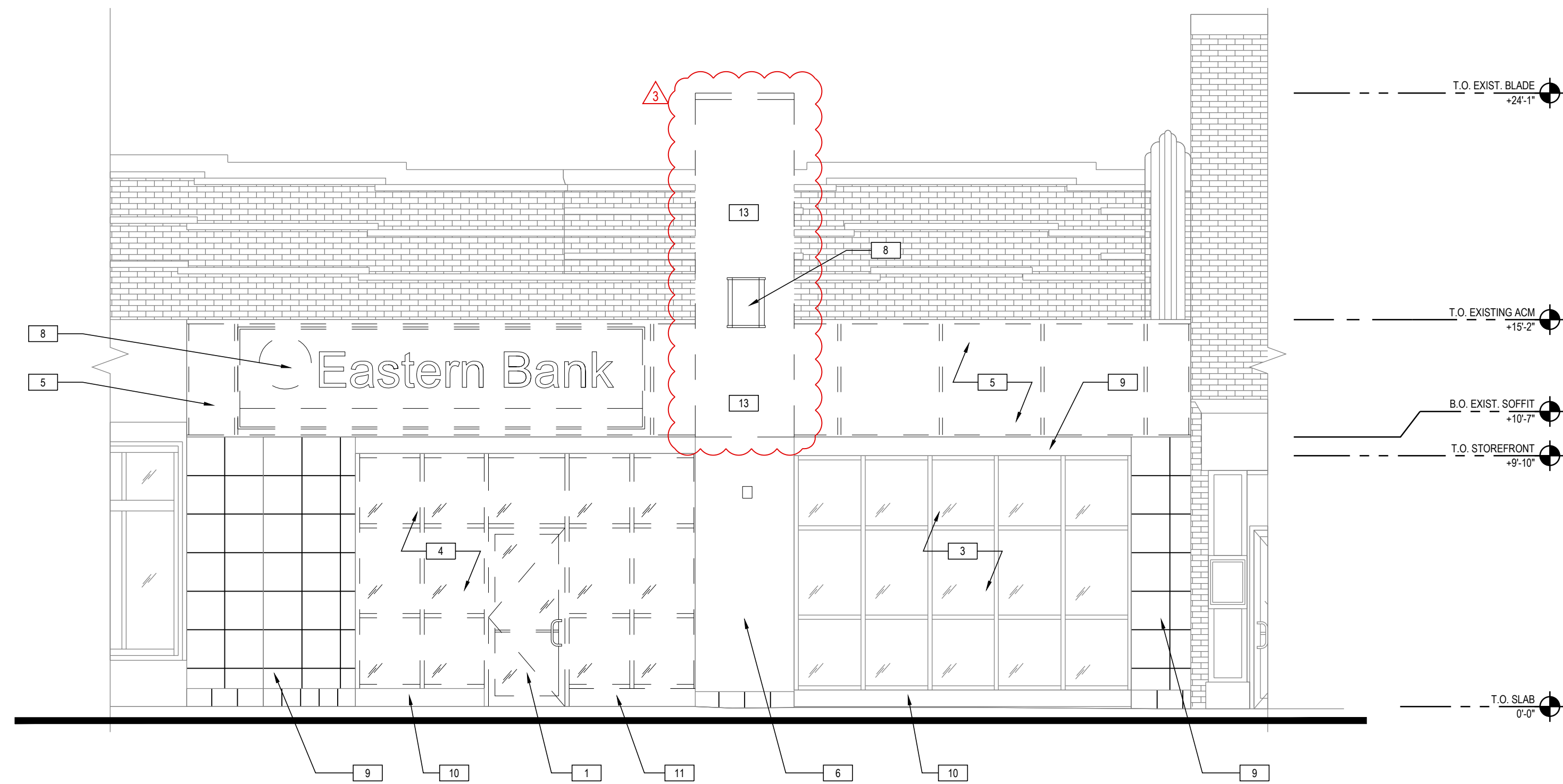


DEMO KEYNOTES	
1	REMOVE EXISTING DOORS, FRAMES, AND ASSOCIATED HARDWARE.
2	EXISTING WINDOWS TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
3	EXISTING STOREFRONT TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
4	EXISTING STOREFRONT TO BE REMOVED. EXISTING ROUGH OPENING TO BE PREPARED FOR NEW STOREFRONT.
5	REMOVE EXISTING METAL PANELS AND FRAMING DOWN TO MASONRY. PREPARE MASONRY FOR EIFS FINISH PER PROPOSED ELEVATIONS.
6	SCRAP, PATCH, AND REPAIR EXISTING STUCCO FINISH AND PREP FOR NEW STUCCO PER PROPOSED ELEVATIONS.
7	EXISTING WALL MOUNTED LIGHT FIXTURES TO BE REMOVED.
8	EXISTING SIGNAGE TO BE REMOVED. PATCH AND REPAIR EXTERIOR FINISH AS REQUIRED.
9	PATCH AND REPAIR EXTERIOR FINISHES AS REQUIRED. PREPARE FOR NEW PAINTED FINISH.
10	REPLACE BRAKE METAL CURB AS NEEDED.
11	REMOVE STOREFRONT CURB DOWN TO SLAB TO PREPARE FOR PROPOSED DOOR.
12	EXISTING MECHANICAL EQUIPMENT TO BE REMOVED AND REPLACED. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
13	REMOVE UPPER PORTION OF COLUMN ENCLOSURE AT FRONT ELEVATION. PATCH AND REPAIR BRICK FACADE WHERE ENCLOSURE WAS REMOVED.

DEMO LEGEND	
	EXIST CONSTRUCTION TO REMAIN
	EXIST CONSTRUCTION TO BE REMOVED

**2** DEMOLITION EXTERIOR ELEVATION  
D2.1.0 1/4" = 1'-0"



**1** DEMOLITION EXTERIOR ELEVATION  
D2.1.0 1/4" = 1'-0"

**CHASE**  
JP MORGAN CHASE, N.A.  
DAVIS SQUARE  
250 ELM STREET  
SOMERVILLE, MA  
CHASE OVP#J60031810826

**CORE STATES**  
GROUP  
CORESTATES, INC.  
9 Crden Street  
Suite 117  
Watertown, MA 02472  
617.574.0007  
core-states.com

ARCHITECT OF RECORD



JAMES T. LALLI, AIA  
MASSACHUSETTS  
LICENSE NO. 32254

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DRAWN BY:	J.HOAK
CHECKED BY:	J.SANCHEZ
VERSION:	SE_1.00

SHEET TITLE  
**DEMOLITION EXTERIOR ELEVATIONS**

SHEET NUMBER  
**D2.1.0**

**GENERAL FLOOR PLAN NOTES**

A	ALL INTERIOR WALL PARTITIONS TO BE 'W' U.N.O. (SEE SHEET A3.1.0 FOR ADDITIONAL INFORMATION).
B	ALL DOOR FRAMES TO HAVE 4" RETURN ON HINGE SIDE U.N.O.
C	NOT ALL KEYNOTES MAY BE USED. REFER TO DRAWING.
D	ALL EXTERIOR SHEATHING SHALL BE DENSGLASS.

**FLOOR PLAN KEYNOTES**

1	ADD 5/8" GYP. TO EXISTING PARTITION AND PROVIDE 1-HR RATING AS REQUIRED.
2	WALL-MOUNT FIRE EXTINGUISHER- CARBON DIOXIDE ONLY / WATER OR DRY CHEMICAL TYPES NOT PERMITTED, CLASS C OR B-C, 5 LB. OR SMALLER, SET WALL BRACKET TO KEEP HANDLE <48" A.F.F.
3	INSTALL NEW 5/8" INTERIOR GYPSUM FINISH ON EXISTING FRAMING.
4	ANODIZED ALUMINUM HANDRAIL - REFER TO 2/A1.1.3 FOR ADDITIONAL INFORMATION.
5	EXIT ALARM POWER SUPPLY: INSTALLED ABOVE FINISH CEILING OVER ALARMED EGRESS DOORS - REFER TO ELECTRICAL DRAWINGS NOT USED
6	SURFACE-MOUNT MECHANICAL PIPING: REFER TO MECH. & PLUMBING DWGS GAS AND REFRIGERANT PIPING SUPPORTED ON ROOFING BY B-LINE DURA-BLOK PRE-FAB RUBBER-BASE GALVANIZED STEEL UNISTRUT PIPE SUPPORTS AT 8'-0" o.c. MAX.
7	ROOFING TRAFFIC PADS: SURFACE-ADHERED TEXTURED WALWAY MATERIAL PER ROOFING MANUFACTURER SPECIFICATIONS TO ALL MECHANICAL EQUIPMENT.
8	MECHANICAL EQUIPMENT: VENTILATION UNIT, PACKAGED ROOFTOP HEATING AND COOLING UNIT OR SPLIT-SYSTEM A/C UNIT MOUNTED TO SHOP-FAB VIBRATION-ISOLATING RAIL OR INSULATED CURB UNIT-LAP FLASH WATER-TIGHT TO ROOFING MEMBRANE. REFER TO MECHANICAL DETAILS.
9	PIPE PENETRATION: REFER TO MECH. & PLUMBING DWGS, PRE-FABRICATED WATER-TIGHT SURFACE-ADHERED ROOFING PORTAL COMPATIBLE WITH ROOFING MATERIAL. PENETRATIONS TO BE COORDINATED WITH LANDLORD'S ROOFING CONTRACTOR.
10	PATCH AND REPAIR ROOF WHERE EXISTING ENCLOSURE WAS REMOVED; REPAIR DAMAGED ROOF PARAPET CAPS

**WALL LEGEND**

	EXISTING WALL CONSTRUCTION TO REMAIN
	EXISTING DEMISING PARTITION
	NEW WALL CONSTRUCTION
	NEW 1-HR RATED WALL

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 9 Golden Street  
 Suite 117  
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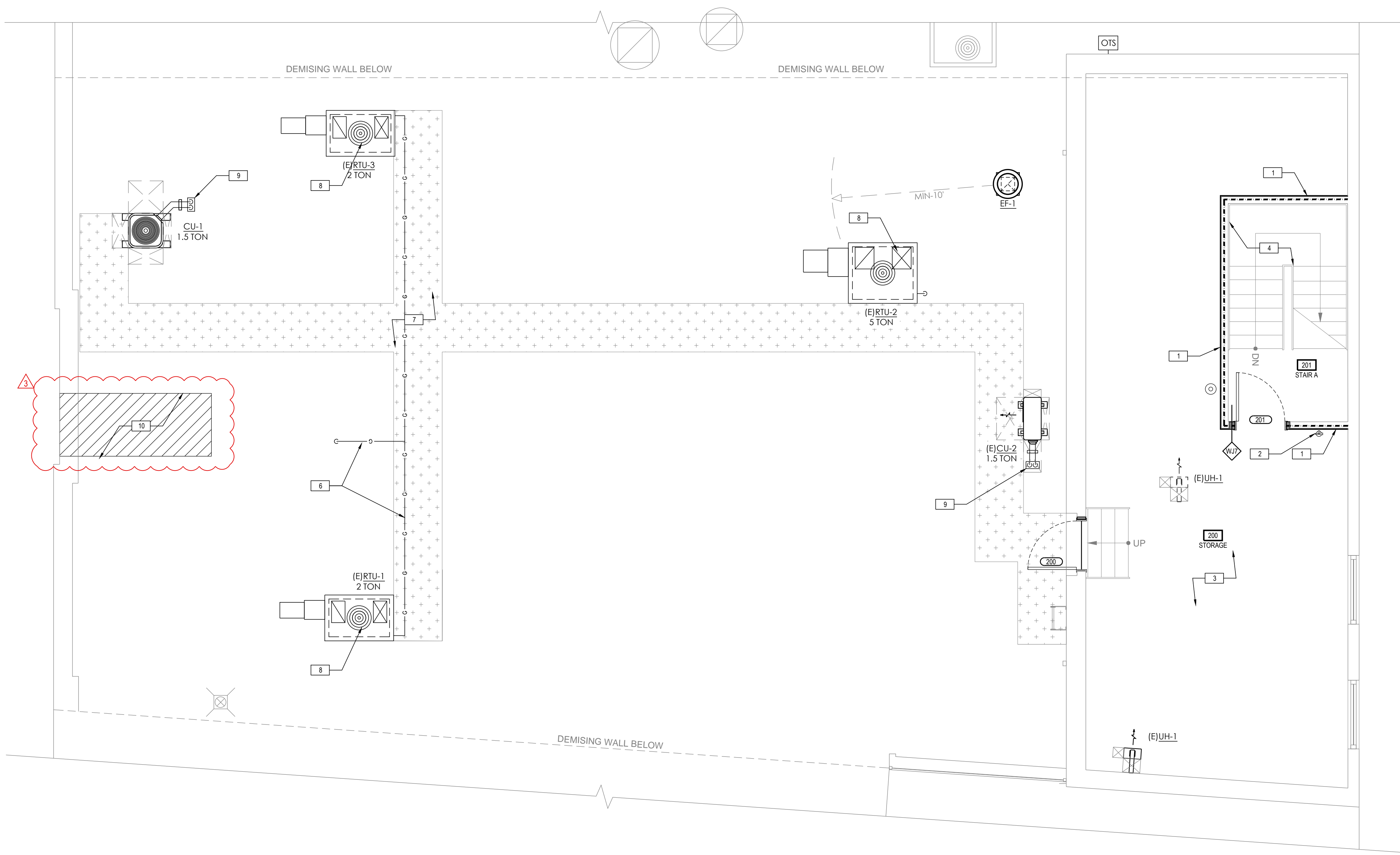
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SHEET TITLE  
**CONSTRUCTION FLOOR PLAN - ROOF**

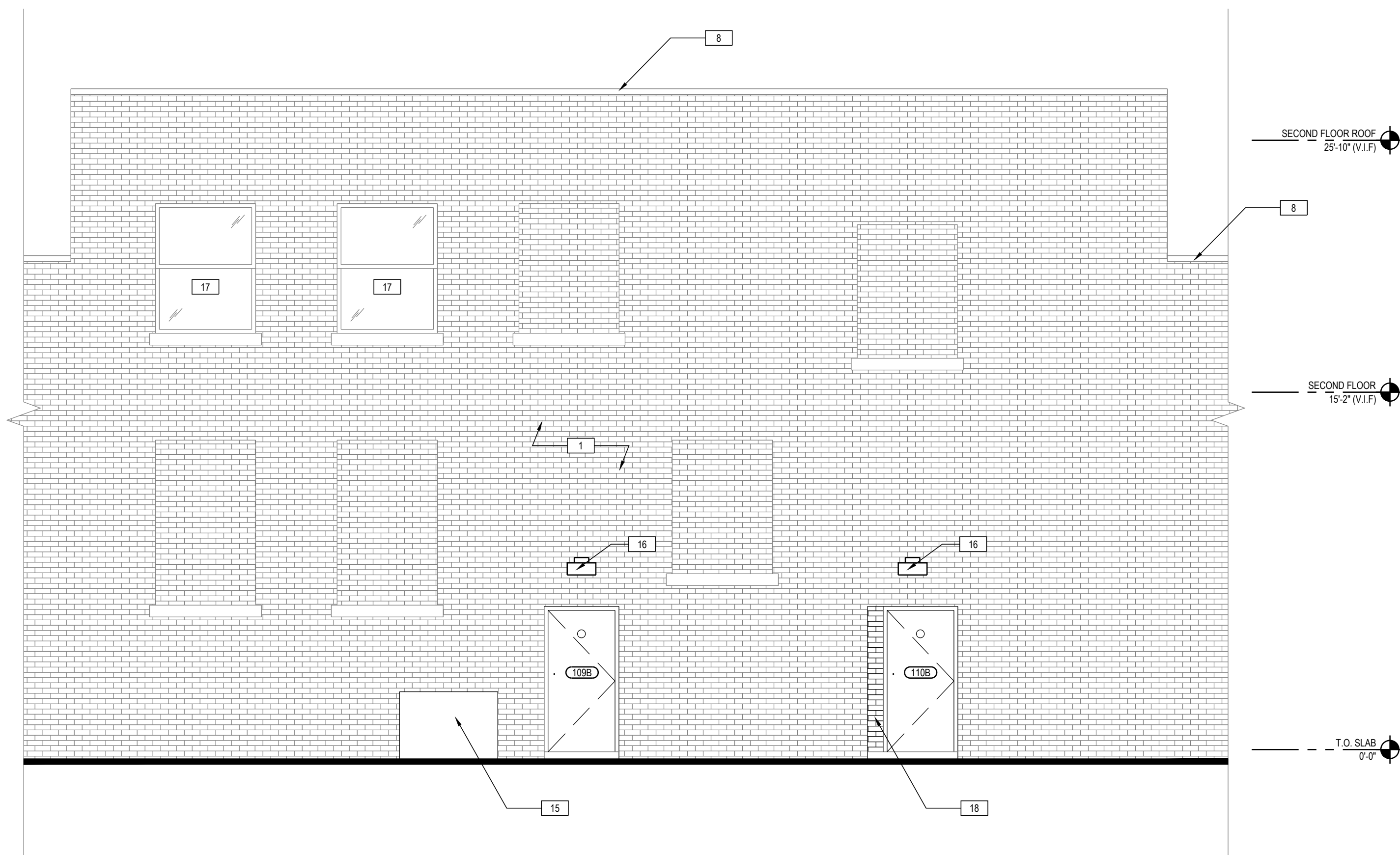
SHEET NUMBER  
**A1.1.5**



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**EXTERIOR FINISH MATERIALS**

EXTERIOR PAINT	
MANUFACTURER	SHERWIN-WILLIAMS
PRODUCT	METALATEX ACRYLIC SEMI-GLOSS
COLOR	SW 7064 PASSIVE
FINISH	SEMI-GLOSS
EXTERIOR PAINT	
MANUFACTURER	SHERWIN-WILLIAMS
PRODUCT	METALATEX ACRYLIC SEMI-GLOSS
COLOR	SW 7018 DOVETAIL
FINISH	SEMI-GLOSS
EXTERIOR PAINT	
MANUFACTURER	SHERWIN-WILLIAMS
PRODUCT	METALATEX ACRYLIC SEMI-GLOSS
COLOR	SW 7675 SEALSKIN
FINISH	SEMI-GLOSS



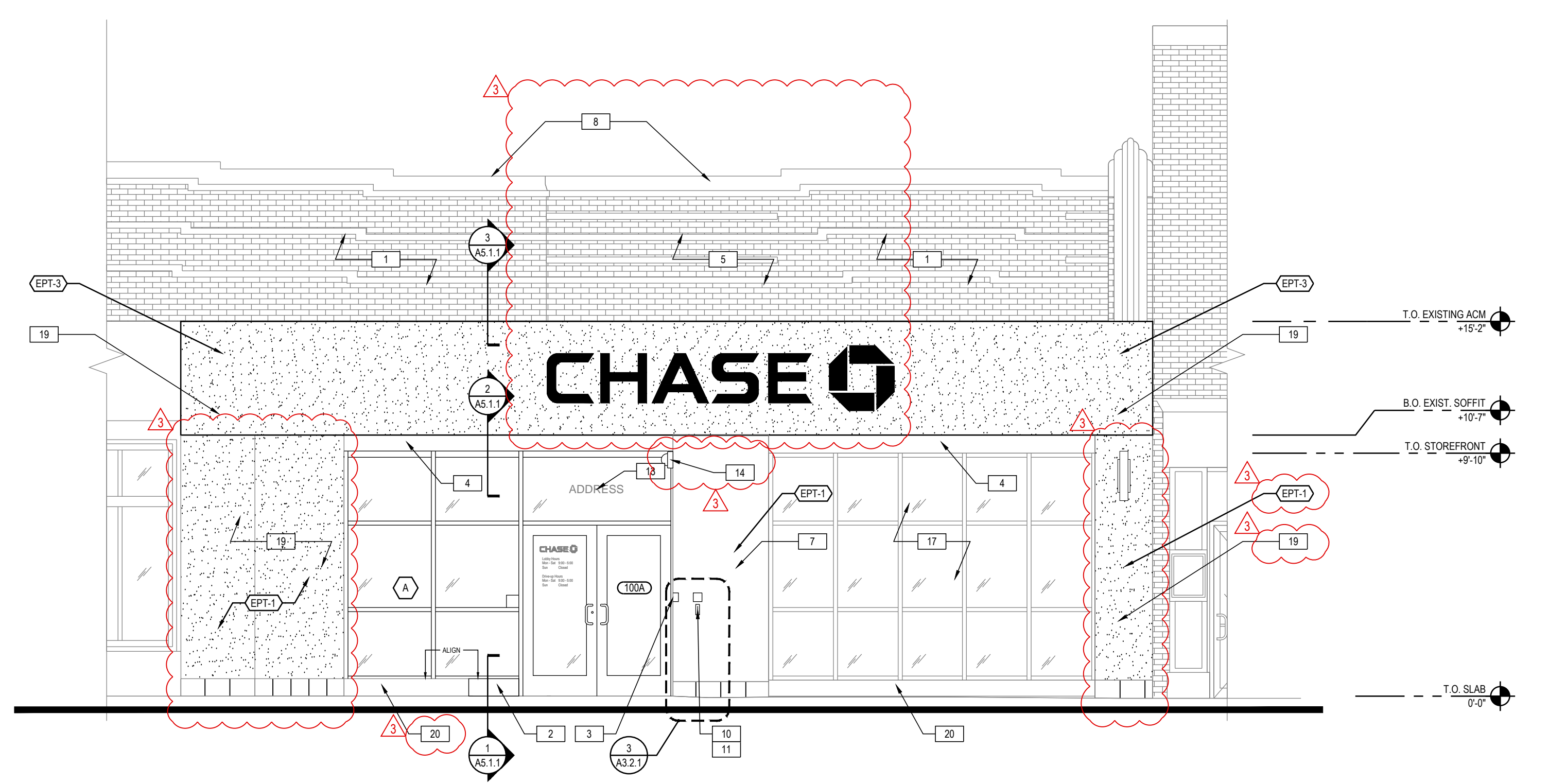
**GENERAL EXTERIOR NOTES**

A	G.C. TO VERIFY EXTERIOR COLOR & MATERIAL LOCATIONS AS SHOWN ON ELEVATION DRAWINGS WITH CHASE DESIGNER & APPROVED BRANDING PACKAGE PRIOR TO PURCHASE & INSTALLATION.
B	NOT ALL KEYNOTES MAY BE USED. REFER TO DRAWINGS.

**ELEVATION NOTES**

- 1 PATCH AND REPAIR EXISTING BRICK IN KIND.
- 2 NEW CURB FINISH TO MATCH ADJACENT EXISTING.
- 3 EMERGENCY ACCESS KEY BOX: WHERE REQUIRED BY LOCAL CODE ONLY. RECESS-MOUNT IN WALL CONSTRUCTION AS REQD. TO SET FACE FLUSH WITH ADJACENT WALL FINISH. VERIFY FINAL LOCATION WITH AUTHORITIES HAVING JURISDICTION.
- 4 EXISTING SOFFITS TO REMAIN. PATCH AND REPAIR AS REQUIRED. FINISH-EPT-1.
- 5 CLEAN, REPAIR, AND/OR REPLACE EXISTING BRICK ONCE EXISTING PIER HAS BEEN REMOVED.
- 6 LIGHTING-TIMER SYSTEM PHOTO SENSOR. REFER TO ELECTRICAL DRAWINGS.
- 7 PATCH AND REPAIR EXISTING EIFS ENCLOSURE. FINISH: EPT-2.
- 8 PATCH AND REPAIR COPING STONE AS REQUIRED. MATCH EXISTING AND ADJACENT.
- 9 SECURITY CAMERA: PROVIDE CONCEALED JUNCTION BOX AND CONDUIT TO INTERIOR. REFER TO OWNER'S SECURITY CONSULTANT DRAWINGS.
- 10 AUTOMATIC DOOR OPERATOR BUTTON RECESSED FLUSH WITH WALL SURFACE. DO NOT SURFACE-MOUNT.
- 11 KEYCARD READER RECESSED FLUSH WITH WALL SURFACE. DO NOT SURFACE-MOUNT.
- 12 SIGNAGE LOCATION: SIGNAGE BY OWNER'S SIGN VENDOR. N.I.C. PROVIDE ROUGH ELEC. WORK AND BLOCKING IN WALL AS REQD. FOR VENDOR INSTALLATION. CONFIRM FINAL LOCATION WITH SIGN VENDOR.
- 13 BUILDING ADDRESS NUMBER: WHITE VINYL NUMBERS WITH 1/2" WIDE STROKE APPLIED TO INTERIOR FACE OF GLASS TRANSOM. MIN. 6" HEIGHT OR AS REQD. BY LOCAL CODE.
- 14 FIRE ALARM SYSTEM BELL AND STROBE: WHERE REQUIRED BY LOCAL CODE ONLY. VERIFY FINAL LOCATION WITH LOCAL AUTHORITIES HAVING JURISDICTION.
- 15 MECHANICAL EQUIPMENT: REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
- 16 SURFACE-MOUNT EMERGENCY LIGHT FIXTURE: TO BE PROVIDED ONLY WHEN DOOR BELOW IS A REQUIRED OR MARKED EXIT - REFER TO REFLECTED CEILING PLAN AND LIGHT FIXTURE SCHEDULE.
- 17 EXISTING STOREFRONT / WINDOWS TO REMAIN AND BE PROTECTED THROUGHOUT CONSTRUCTION.
- 18 BRICK INFILL AS NEEDED AT NEW DOOR OPENING.
- 19 NEW EIFS FINISH AND FRAMING AS REQUIRED.
- 20 NEW BRAKE METAL CURB COVER TO MATCH EXISTING STOREFRONT.

**2 EXTERIOR ELEVATION**  
A2.1.0 1/4" = 1'-0"



**1 EXTERIOR ELEVATION**  
A2.1.0 1/4" = 1'-0"

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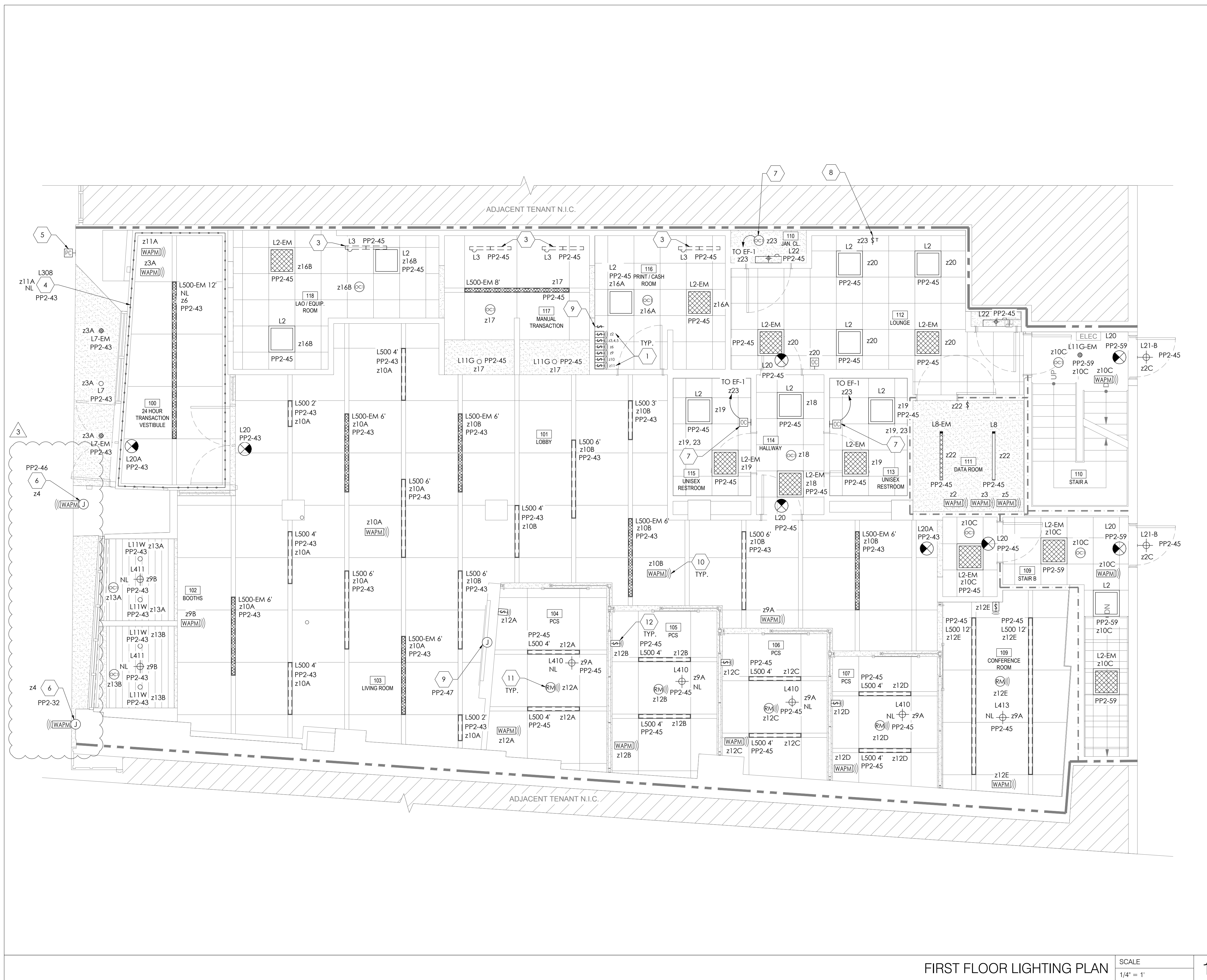
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VERSION:	SE_1.00

EXTERIOR ELEVATIONS

SHEET NUMBER

**A2.1.0**



FIRST FLOOR LIGHTING PLAN SCALE 1/4" = 1' 1

**ELECTRICAL GENERAL NOTES:**

- REFER TO LIGHTING SCHEDULES AND ELECTRICAL DETAILS SHEET FOR LIGHTING FIXTURE SCHEDULE AND ADDITIONAL INFORMATION.
- REFER TO BUILDING MANAGEMENT SYSTEM LIGHTING ZONE CONTROL SCHEDULE ON BUILDING MANAGEMENT SYSTEM DETAILS SHEET FOR ALL WIRING CONNECTIONS AND REQUIREMENTS.
- ALL LIGHTS LABELED "NL" ARE NIGHT LIGHTS THAT ARE TO BE CONNECTED UNSWITCHED.
- ALL EXIT LIGHTS "L20" SHALL BE CONNECTED TO THE CIRCUIT INDICATED ON THE LINE SIDE OF THE LOCAL LIGHTING SWITCH.
- ALL EMERGENCY BATTERY FIXTURES (HATCHED FIXTURES) SHALL BE CONTROLLED BY THE LOCAL LIGHTING SWITCH AS INDICATED. EXTEND BATTERY WIRING TO THE LINE SIDE OF THE LOCAL LIGHTING SWITCH AND CONNECT FOR PROPER EMERGENCY BALLAST OPERATION.
- ALL PENDANT FIXTURES IN THE PUBLIC LOBBY AREA ARE TO BE CONNECTED TO A CONSTANT-ON CIRCUIT. EXACT LOCATIONS OF PENDANT FIXTURES ARE TO BE COORDINATED WITH THE ARCHITECTURAL FURNITURE LAYOUT.
- SECURELY FASTEN EACH RECESSED GRID LIGHT FIXTURE TO THE CEILING SYSTEM WITH APPROPRIATE SUPPORT BRACKETS AND CLIPS PER INDUSTRY STANDARDS, CODE AND ALL LOCAL CODES.
- A MAXIMUM OF 3 HOMERUNS MAY BE GROUPED TOGETHER IN ONE CONDUIT AND SHARE A COMMON NEUTRAL PROVIDED THE HOMERUNS ARE DIFFERENT PHASES. IF BRANCH CIRCUITS ARE GROUPED THEY MUST ALL BE CONTROLLED BY THE SAME MULTI-POLE BREAKER PER NEC.210.4.

**# ELECTRICAL KEY NOTES:**

- SWITCHBANK FOR BI-LEVEL CONTROL OF LOBBY LIGHTING WITH MANUAL DIMMERS. 4-GANG BOX NOT REQUIRED. COORDINATE FINAL LOCATION WITH OWNER PRIOR TO INSTALLATION. NUMBERS NEXT TO SWITCHES INDICATE THE LIGHTING ZONE BEING CONTROLLED. REFER TO BMS LIGHTING ZONE CONTROL SCHEDULE ON THE BUILDING MANAGEMENT SYSTEM DETAIL SHEET FOR ADDITIONAL INFORMATION.
- NOT USED.
- UNDERCABINET LIGHT FIXTURES. VERIFY EXACT QUANTITY OF FIXTURES REQUIRED PRIOR TO INSTALLATION. LIGHTING FIXTURE "L3" IS PROVIDED WITH AN INTEGRAL OCCUPANCY SENSOR. DO NOT CONNECT TO WALL MOUNTED OCCUPANCY SENSOR OR SWITCHES. ROUTE LOW VOLTAGE LIGHT FIXTURE CIRCUITRY THROUGH WALL TO FIXTURE DEVICES. REFER TO ARCHITECTURAL ELEVATIONS FOR ADDITIONAL INFORMATION.
- PROVIDE LED COVE ACCENT LIGHTING, TYPE L308 (BLUE), AS SHOWN. LIGHTING TO BE INSTALLED IN VESTIBULE CEILING COVE. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS. CIRCUIT AS NIGHT LIGHTS.
- PROVIDE OUTDOOR PHOTOCELL, MOUNTED ON EXTERIOR WALL. EXACT LOCATION AND MOUNTING HEIGHT TO BE VERIFIED WITH ARCHITECT PRIOR TO ROUGH-IN. MOUNT AWAY FROM LIGHT SOURCES.
- JUNCTION BOX ON THE INSIDE OF EXTERIOR WALL FOR BUILDING SIGN. REFER TO ARCHITECTURAL ELEVATIONS FOR SIGN LOCATIONS. FIELD COORDINATE ROUGH-IN REQUIREMENTS WITH SIGNS TO BE INSTALLED AND ADJUST ACCORDINGLY. PROVIDE DISCONNECTING MEANS AS REQUIRED.
- INTERLOCK RESTROOMS AND JANITOR CLOSET LIGHTING AND EXHAUST FAN WITH WALL MOUNTED OCCUPANCY SENSOR. LIGHTING AND EXHAUST FAN TO BE POWERED SEPARATELY. REFER TO POWER PLAN, ROOF POWER PLAN AND MECHANICAL SCHEDULES FOR ADDITIONAL INFORMATION.
- EXHAUST FAN TO BE INTERLOCKED WITH 3-WAY PRESET PUSH BUTTON TIMER SWITCH. REFER TO EXHAUST FAN CONTROL DIAGRAM, POWER PLAN AND MECHANICAL SCHEDULES FOR ADDITIONAL INFORMATION.
- PROVIDE JUNCTION BOX ABOVE CEILING WITH MULTIPLE FLEXIBLE CONDUIT TERMINATIONS IN WALL BELOW FOR SIGNAGE ELECTRICAL CONNECTION. COORDINATE EXACT LOCATION AND TERMINATION LOCATIONS WITH CHASE SIGNAGE VENDOR SHOP DRAWINGS AND ADDITIONAL REQUIREMENTS. FIELD COORDINATE ROUGH-IN REQUIREMENTS WITH SIGN TO BE INSTALLED AND ADJUST ACCORDINGLY. CONNECT SIGN TO SPDT WALL SWITCH LOCATED AT MANUAL TRANSACTION AREA FOR MANUAL CONTROL OF SIGNAGE.
- PROVIDE DIMMING ROOM WIRELESS ADAPTER, DAINTREE #WA100-PM SERIES. REFER TO BUILDING MANAGEMENT SYSTEM DETAILS SHEET FOR ADDITIONAL INFORMATION. ADAPTER CONTROLS UP TO 10 LUMINAIRES.
- PROVIDE BATTERY POWERED CEILING RECESSED OCCUPANCY SENSOR, DAINTREE #WOS2-RM-E SERIES. REFER TO BUILDING MANAGEMENT SYSTEM DETAILS SHEET FOR ADDITIONAL INFORMATION.
- PROVIDE WIRELESS WALL DIMMER, DAINTREE #WWD1 SERIES. REFER TO DETAILS ON THE BUILDING MANAGEMENT SYSTEM DETAIL SHEET FOR ADDITIONAL INFORMATION.

**LIGHTING NOTES:**

- LIGHTING SHALL BE ORDERED THROUGH:  
FSG - JPMC Retail Team  
Isaiah Ramden  
Tel: (888) 671-4074  
E-mail: jpmcretail@fsg.com  
Website: www.fsg.com
- ELECTRICAL CONTRACTOR TO PURCHASE WHOLE DAINTREE SYSTEM WITH INPUT FROM MECHANICAL CONTRACTOR. COORDINATE AS REQUIRED BETWEEN THE TRADES. ELECTRICAL CONTRACTOR TO CONFIRM ALL ORDER REQUIREMENTS WITH MECHANICAL CONTRACTOR. ELECTRICAL CONTRACTOR TO COORDINATE WITH DAINTREE FOR PROGRAMMING OF SYSTEM AND DEVICES. IF THERE ARE SPECIFIC QUESTIONS REGARDING THE DAINTREE CONTROL SYSTEM AND ADDITIONAL INFORMATION, PLEASE CONTACT:  
Current, powered by GE  
Bob Flannery  
Tel: 312-550-6554  
E-mail: robert.flannery@gecurrent.com  
Travis Lynch  
Tel: 216-212-7558  
E-mail: Travis.Lynch@gecurrent.com  
FOR GENERAL SUPPORT:  
E-mail: JPMCcontrols@gecurrent.com

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GROUP  
CORE STATES, INC.  
46 East Main Street Suite 201  
Somerville, NJ 08876  
908.462.9700  
www.core-states.com

ENGINEER OF RECORD  
  
JOHN FERGUSON, P.E.  
MASSACHUSETTS  
LICENSE No. 48052  
6/29/22

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FIRST FLOOR LIGHTING PLAN

SHEET NUMBER

E1.1

